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Town of Temple
Zoning Board of Adjustment
423 NH Route 45
PO Box 191
Temple, NH 03084

May 5, 2021

RE: Special Exception Application of Stepping Stones Farm and Event, LLC

Dear Chairman Kieley and Honorable members of the board,

This letter offers my opinion as an established real estate professional in the Monadnock region, on the above application regarding Article 13A (3) in your standards, which requires that in granting a special exception surrounding property values shall not be adversely affected.

The board is no doubt familiar with the history of use and worthwhile stewardship of the property by the applicant which is widely appreciated as a credit to your town and to our region. A brief chronological of this history is included with the application. Particularly relevant to the current application is the fact that both the Pony Farm and the Timberdoodle Club have for decades sponsored events attended by the public and guests, and property values of surrounding properties during that time have more than kept pace with other desirable areas in our region.

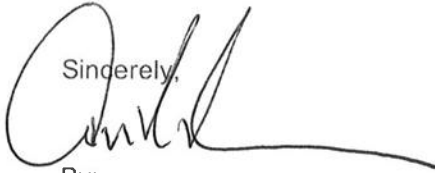
Regarding the specific nature of this application, it is also useful to consider the effect on surrounding property values of similar event venues which have been created in the Monadnock Region in recent years. In this regard, Harrisville now has three wedding venues: Aldworth Manor, Cobb Hill Estates and Mayfair Farm. Since these businesses have opened property values in Harrisville have increased from an average of \$237,781 in 2018 to an average of \$338,218 over the past year. This compares favorably with the Cheshire County average selling price over the past year of \$249,696.

Similarly, the Grandview Inn, The Woodbound Inn Conference Center in Jaffrey and the newly created Cranberry Meadow Inn on Old Street Road in Peterborough have also not decreased, and have indeed had a demonstrably positive effect, on the value of surrounding residential real estate.

The effect on real estate values reflected by recent sales on Stonegate Farm Road are particularly relevant to your considerations. According to MLS statistics, three of the top ten selling prices recorded over the last year in Temple were within the development directly adjacent to the Timberdoodle Club, including the most recent sale of 179 Stonegate Farm Road for \$750,000.

Due to the considerations and data referenced above and based on my experience and personal inspection of the premises and application before you, **I have concluded that the proposed use will not adversely affect surrounding property values.**

I trust the foregoing is satisfactory for your purposes, but if anything further is required do not hesitate to contact me.

Sincerely,


By:

Andrew R. Peterson CCIM

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