

BEN'S SUGAR SHACK

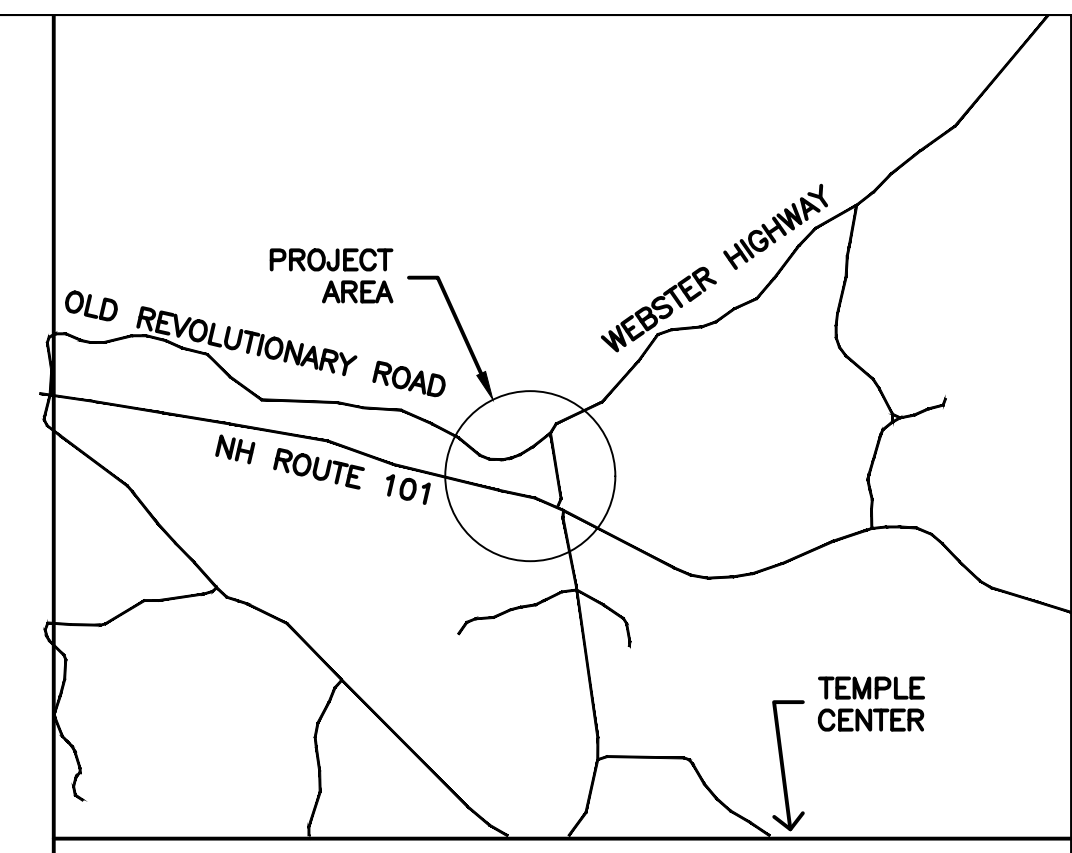
JUNE, 2020

BEN'S MAPLE PRODUCTS LLC

83 WEBSTER HIGHWAY, TEMPLE NH 03084
(603)-924-3111

DATE: 12-21-2020
REVISION: ABUTTER DISTANCES

DATE: SEPTEMBER 13, 2021
REVISION: ADD FOOT PATH, 4
FRASIER FIRS, EXPANDED LEACHFIELD
& AREA OF DISTURBANCE



LOCUS

Brickstone
Land Use Consultants, LLC

Site Planning, Permitting and Development Consulting
185 Winchester Street, Keene, NH 03431
Phone: (603) 357-0116

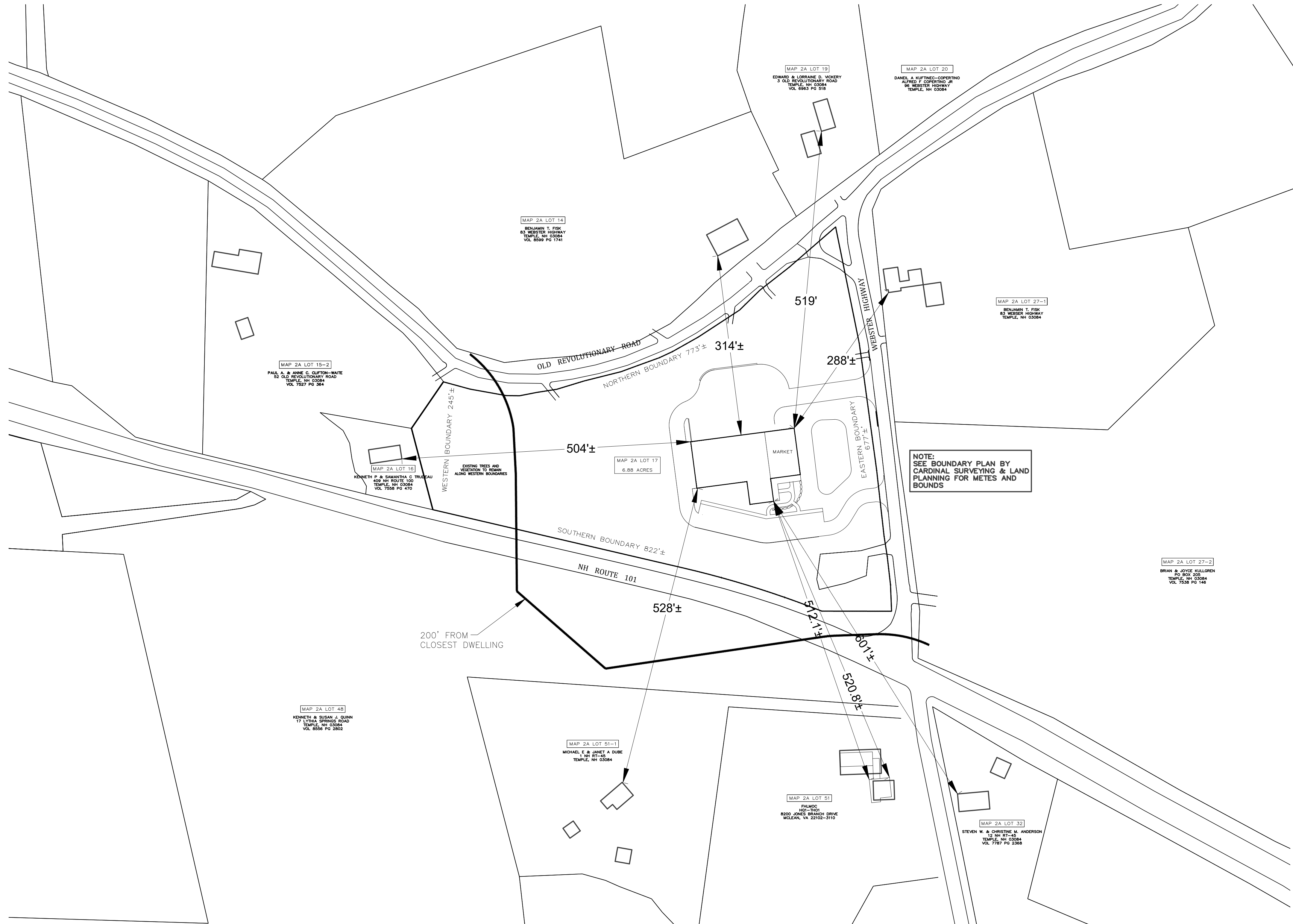
CARDINAL SURVEYING
& LAND PLANNING

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10/18/2021



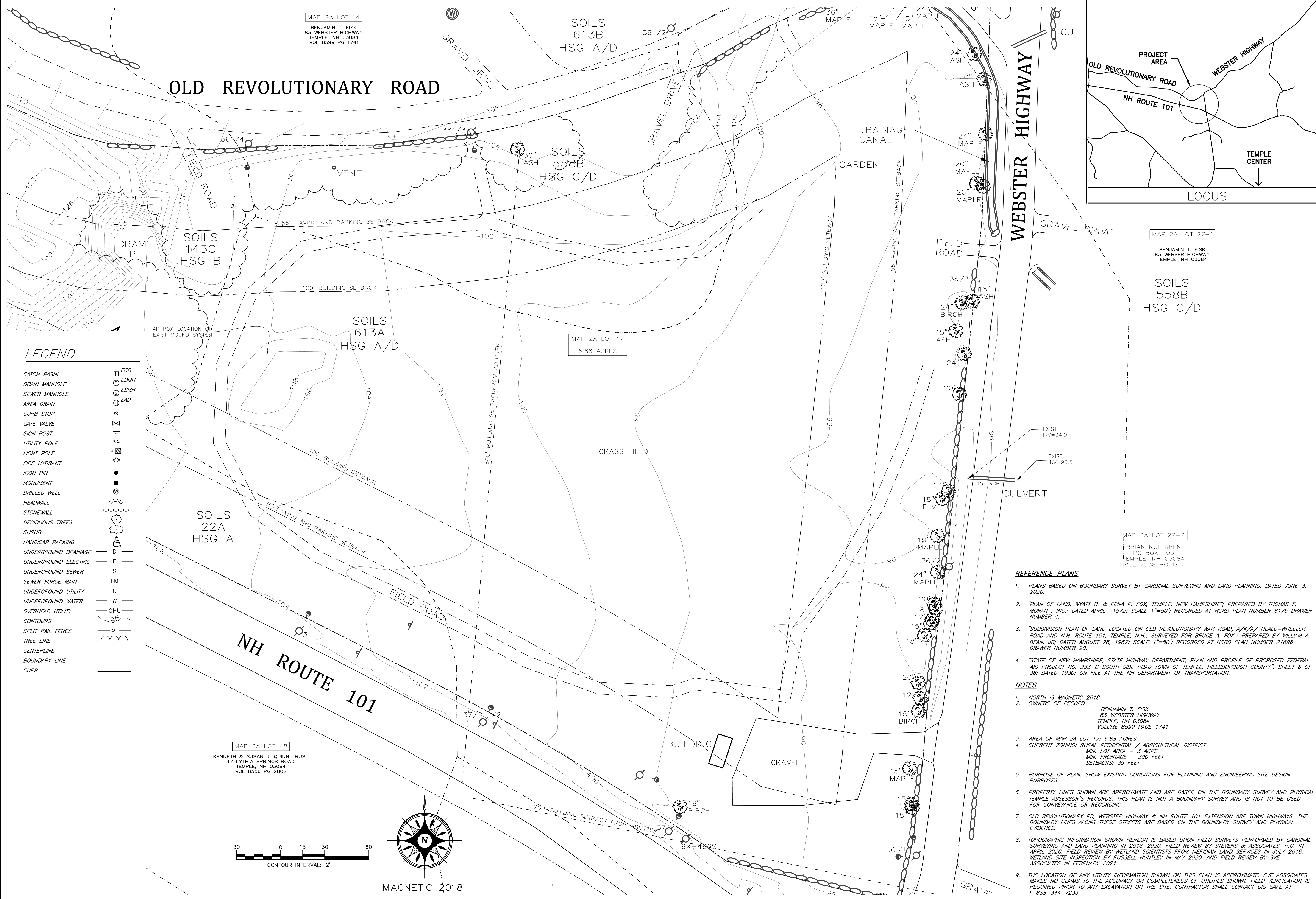
- LIST OF DRAWINGS
- T-1 TITLE SHEET
 - C-1 EXISTING CONDITIONS
 - C-2 SITE PREP
 - C-3 LAYOUT & LANDSCAPING
 - C-4 GRADING, DRAINAGE & EROSION
 - C-5 UTILITIES
 - C-6 DRAINAGE AND EROSION CONTROL DETAILS
 - C-7 GENERAL SITE NOTES AND DETAILS
 - C-8 GENERAL SITE DETAILS

TITLE SHEET & REGIONAL MAP

PROJECT. NO. K2658

T-1

SHEET 1 OF 9



MAP 2A LOT 14
 BENJAMIN T. FISK
 83 WEBSTER HIGHWAY
 TEMPLE, NH 03084
 VOL. 8599 PG 1741

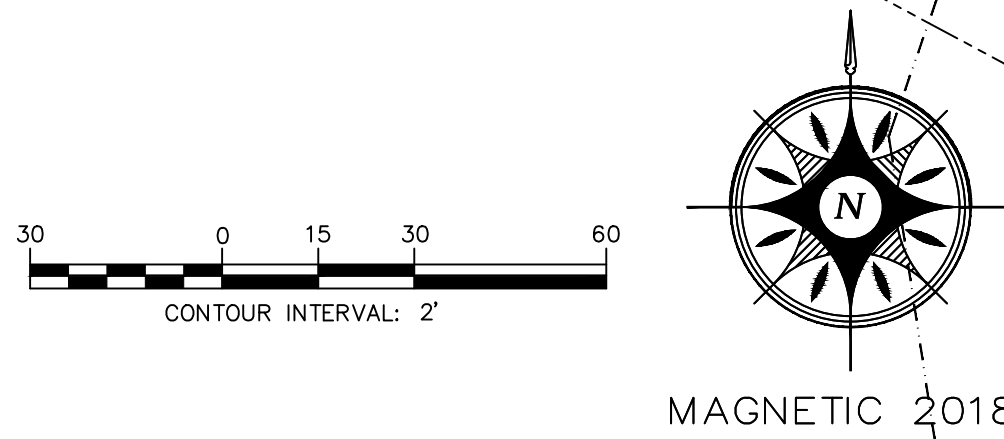
MAP 2A LOT 17
 6.88 ACRES

MAP 2A LOT 27-1
 BENJAMIN T. FISK
 83 WEBSTER HIGHWAY
 TEMPLE, NH 03084

MAP 2A LOT 27-2
 BRIAN KULLGREN
 PO BOX 205
 TEMPLE, NH 03084
 VOL. 7538 PG 146

MAP 2A LOT 48
 KENNETH & SUSAN J. QUINN TRUST
 17 LYTIA SPRINGS ROAD
 TEMPLE, NH 03084
 VOL. 8556 PG 2802

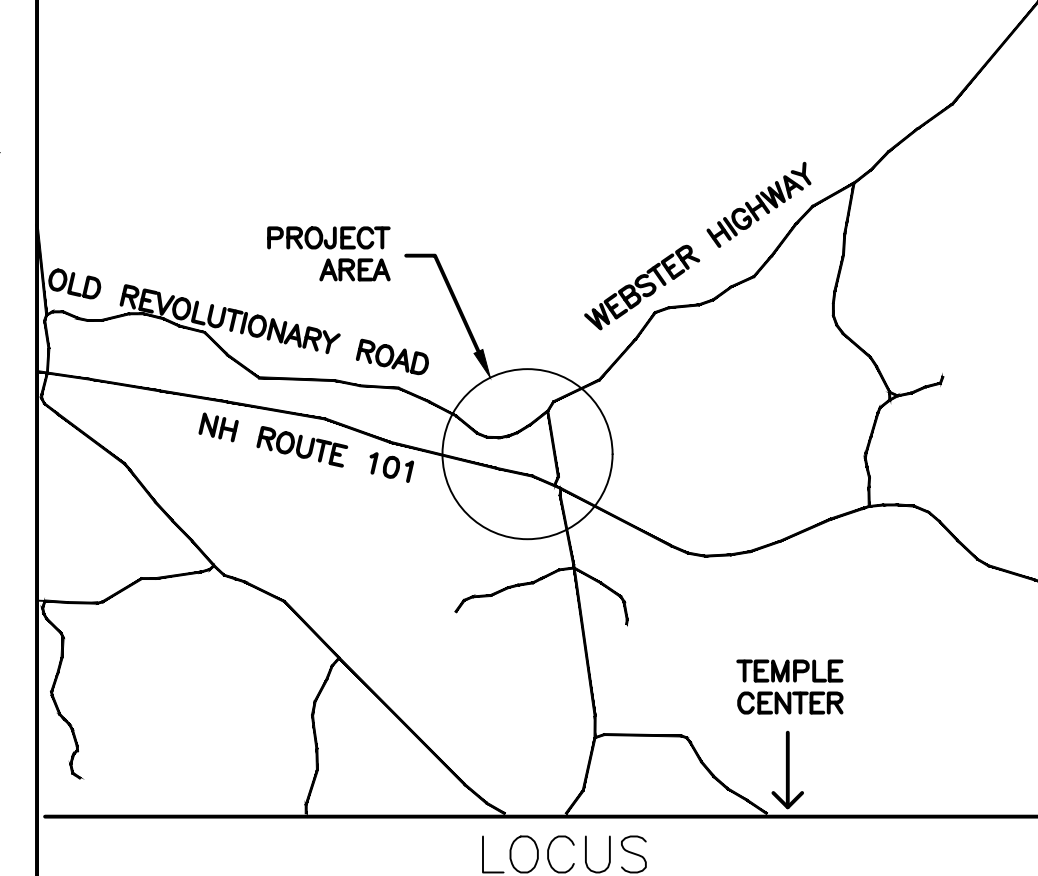
- LEGEND**
- CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - AREA DRAIN
 - CURB STOP
 - GATE VALVE
 - SIGN POST
 - UTILITY POLE
 - LIGHT POLE
 - FIRE HYDRANT
 - IRON PIN
 - MONUMENT
 - DRILLED WELL
 - HEADWALL
 - STONEWALL
 - DECIDUOUS TREES
 - SHRUB
 - HANDICAP PARKING
 - UNDERGROUND DRAINAGE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND SEWER
 - SEWER FORCE MAIN
 - UNDERGROUND UTILITY
 - UNDERGROUND WATER
 - OVERHEAD UTILITY
 - CONTOURS
 - SPLIT RAIL FENCE
 - TREE LINE
 - CENTERLINE
 - BOUNDARY LINE
 - CURB



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PURPOSE OF DRAWING:
 OCTOBER 14, 2021
 PERMITTING

BEN'S SUGAR SHACK
 WEBSTER HIGHWAY
 TEMPLE, NH

PREPARED FOR:
BEN'S MAPLE PRODUCTS LLC
 83 WEBSTER HIGHWAY
 TEMPLE, NH

DATE:
 REVISION:

10/11/21 REMOVED WETLAND AREAS
 PER RUSSELL HUNTLEY, CIVS LETTER
 DATED 6/4/2020, UPDATED TITLE
 BLOCK & NOTES

EXISTING CONDITIONS PLAN

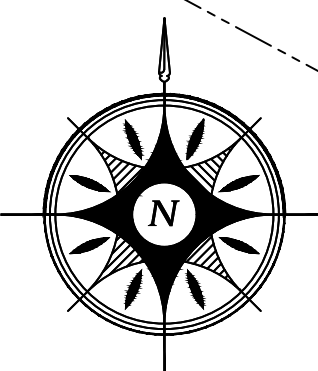
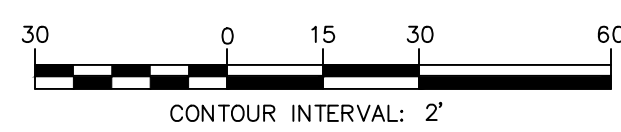
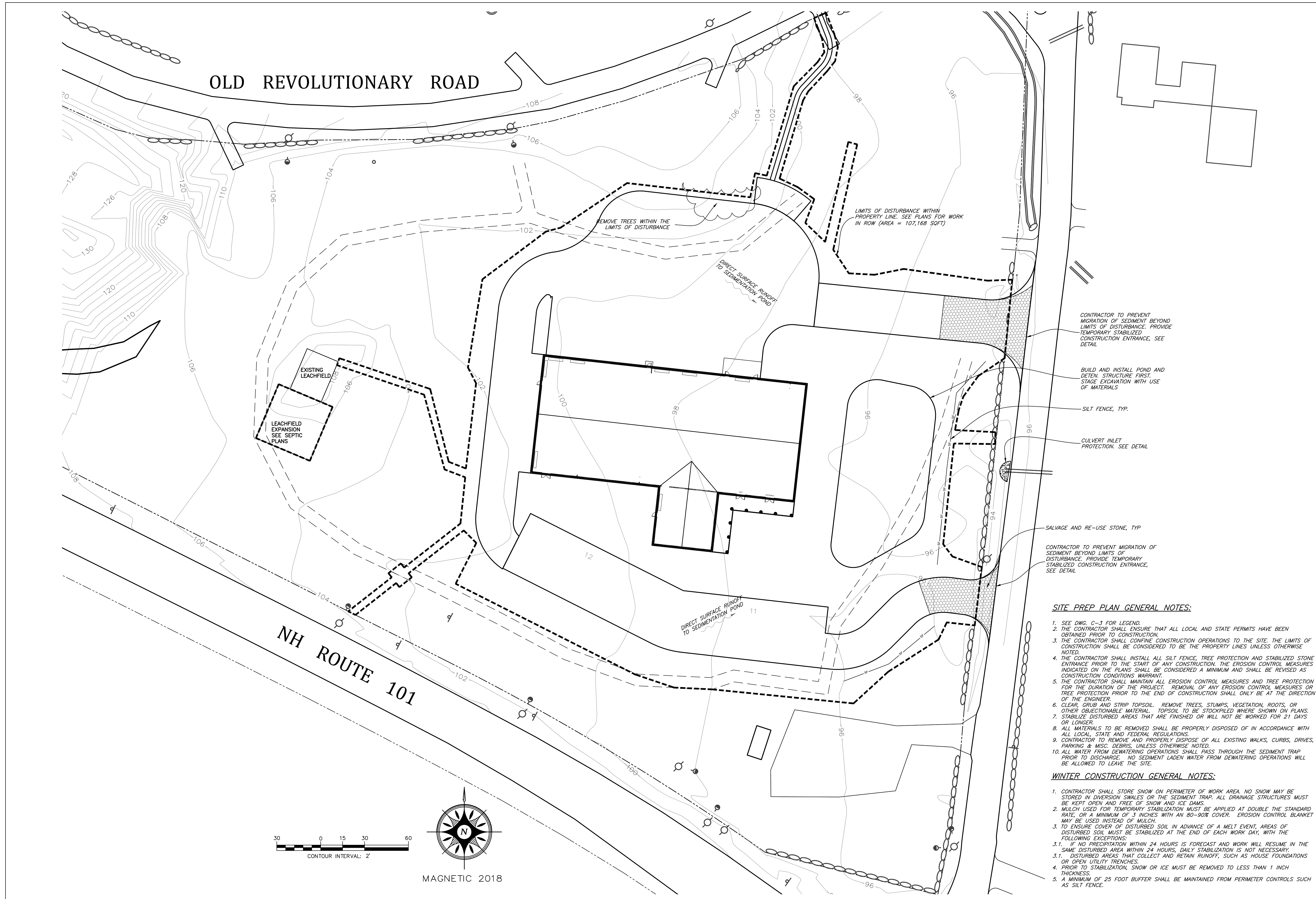
DES. BY: ---
 DWN. BY: EEF
 CHKD. BY: LS
 SCALE: AS SHOWN
 DATE: 06/09/2020
 PROJECT NUM: K2568
 DWG. NO. C-1
 SHEET 2 OF 9

REFERENCE PLANS

- PLANS BASED ON BOUNDARY SURVEY BY CARDINAL SURVEYING AND LAND PLANNING, DATED JUNE 3, 2020.
- "PLAN OF LAND, WYATT R. & EDNA P. FOX, TEMPLE, NEW HAMPSHIRE", PREPARED BY THOMAS F. MORAN, INC., DATED APRIL 1972; SCALE 1"=50'; RECORDED AT HCSD PLAN NUMBER 6175 DRAWER NUMBER 4.
- "SUBDIVISION PLAN OF LAND LOCATED ON OLD REVOLUTIONARY WAR ROAD, A/K/A/ HEALD-WHEELER ROAD AND N.H. ROUTE 101, TEMPLE, N.H., SURVEYED FOR BRUCE A. FOX", PREPARED BY WILLIAM A. BEAN, JR., DATED AUGUST 28, 1987; SCALE 1"=50'; RECORDED AT HCSD PLAN NUMBER 21696 DRAWER NUMBER 90.
- "STATE OF NEW HAMPSHIRE, STATE HIGHWAY DEPARTMENT, PLAN AND PROFILE OF PROPOSED FEDERAL AID PROJECT NO. 233-C SOUTH SIDE ROAD TOWN OF TEMPLE, HILLSBOROUGH COUNTY"; SHEET 6 OF 36; DATED 1930; ON FILE AT THE NH DEPARTMENT OF TRANSPORTATION.

NOTES

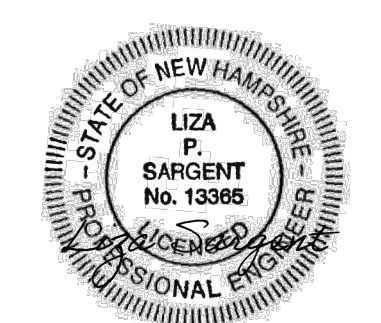
- NORTH IS MAGNETIC 2018
- OWNERS OF RECORD: BENJAMIN T. FISK, 83 WEBSTER HIGHWAY, TEMPLE, NH 03084, VOLUME 8599 PAGE 1741
- AREA OF MAP 2A LOT 17: 6.88 ACRES
- CURRENT ZONING: RURAL RESIDENTIAL / AGRICULTURAL DISTRICT
 MIN. LOT AREA - 3 ACRE
 MIN. FRONTAGE - 300 FEET
 SETBACKS: 35 FEET
- PURPOSE OF PLAN: SHOW EXISTING CONDITIONS FOR PLANNING AND ENGINEERING SITE DESIGN PURPOSES.
- PROPERTY LINES SHOWN ARE APPROXIMATE AND ARE BASED ON THE BOUNDARY SURVEY AND PHYSICAL TEMPLE ASSESSOR'S RECORDS. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR CONVEYANCE OR RECORDING.
- OLD REVOLUTIONARY RD, WEBSTER HIGHWAY & NH ROUTE 101 EXTENSION ARE TOWN HIGHWAYS. THE BOUNDARY LINES ALONG THESE STREETS ARE BASED ON THE BOUNDARY SURVEY AND PHYSICAL EVIDENCE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD SURVEYS PERFORMED BY CARDINAL SURVEYING AND LAND PLANNING IN 2018-2020, FIELD REVIEW BY STEVENS & ASSOCIATES, P.C. IN APRIL 2020, FIELD REVIEW BY WETLAND SCIENTISTS FROM MERIDIAN LAND SERVICES IN JULY 2018, WETLAND SITE INSPECTION BY RUSSELL HUNTLEY IN MAY 2020, AND FIELD REVIEW BY SVE ASSOCIATES IN FEBRUARY 2021.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. SVE ASSOCIATES MAKES NO CLAIMS TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE. CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.



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BEN'S SUGAR SHACK

WEBSTER HIGHWAY
TEMPLE, NH

PREPARED FOR:
BEN'S MAPLE PRODUCTS LLC
83 WEBSTER HIGHWAY
TEMPLE, NH

DATE: SEPTEMBER 13, 2021
REVISION: AREA OF DISTURBANCE

DATE: OCTOBER 11, 2021
REVISION: TITLE BLOCK

SITE PREP

DES. BY _____ HRH
OWN. BY _____ EEF
CHKD. BY _____ LS
SCALE _____ AS SHOWN
DATE _____ 06/09/2020
PROJECT NUM: K2568
DWG. NO. _____

C-2

SHEET 3 OF 9

CONTRACTOR TO PREVENT MIGRATION OF SEDIMENT BEYOND LIMITS OF DISTURBANCE. PROVIDE TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL.

BUILD AND INSTALL POND AND DETEN. STRUCTURE FIRST. STAGE EXCAVATION WITH USE OF MATERIALS

SILT FENCE, TYP.

CULVERT INLET PROTECTION. SEE DETAIL

SALVAGE AND RE-USE STONE, TYP

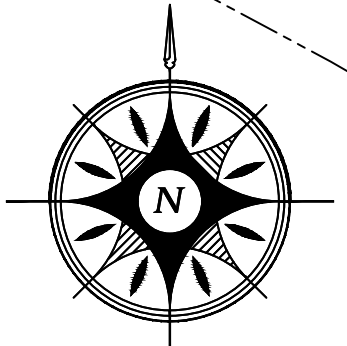
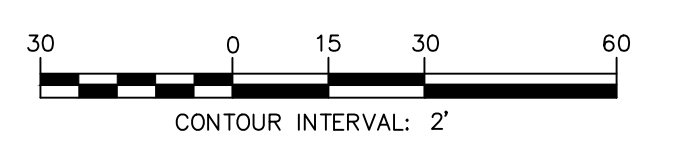
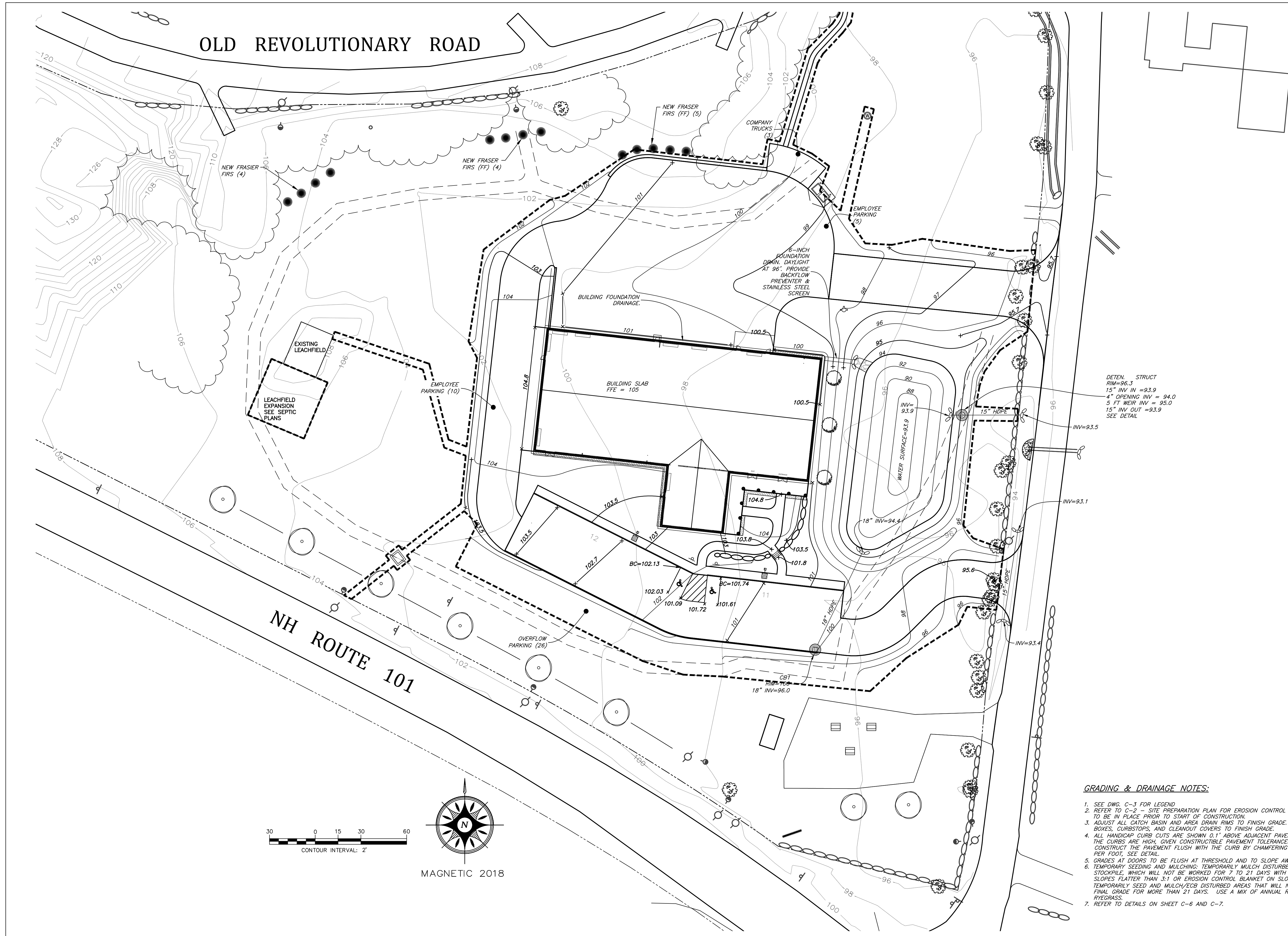
CONTRACTOR TO PREVENT MIGRATION OF SEDIMENT BEYOND LIMITS OF DISTURBANCE. PROVIDE TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL.

SITE PREP PLAN GENERAL NOTES:

- SEE DWG. C-3 FOR LEGEND.
- THE CONTRACTOR SHALL ENSURE THAT ALL LOCAL AND STATE PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONFINE CONSTRUCTION OPERATIONS TO THE SITE. THE LIMITS OF CONSTRUCTION SHALL BE CONSIDERED TO BE THE PROPERTY LINES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL ALL SILT FENCE, TREE PROTECTION AND STABILIZED STONE ENTRANCE PRIOR TO THE START OF ANY CONSTRUCTION. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED A MINIMUM AND SHALL BE REVISED AS CONSTRUCTION CONDITIONS WARRANT.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES AND TREE PROTECTION FOR THE DURATION OF THE PROJECT. REMOVAL OF ANY EROSION CONTROL MEASURES OR TREE PROTECTION PRIOR TO THE END OF CONSTRUCTION SHALL ONLY BE AT THE DIRECTION OF THE ENGINEER.
- CLEAR, GRUB AND STRIP TOPSOIL. REMOVE TREES, STUMPS, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL. TOPSOIL TO BE STOCKPILED WHERE SHOWN ON PLANS.
- STABILIZE DISTURBED AREAS THAT ARE FINISHED OR WILL NOT BE WORKED FOR 21 DAYS OR LONGER.
- ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING WALKS, CURBS, DRIVES, PARKING & MISC. DEBRIS, UNLESS OTHERWISE NOTED.
- ALL WATER FROM DEWATERING OPERATIONS SHALL PASS THROUGH THE SEDIMENT TRAP PRIOR TO DISCHARGE. NO SEDIMENT LADEN WATER FROM DEWATERING OPERATIONS WILL BE ALLOWED TO LEAVE THE SITE.

WINTER CONSTRUCTION GENERAL NOTES:

- CONTRACTOR SHALL STORE SNOW ON PERIMETER OF WORK AREA. NO SNOW MAY BE STORED IN DIVERSION SWALES OR THE SEDIMENT TRAP. ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
- MULCH USED FOR TEMPORARY STABILIZATION MUST BE APPLIED AT DOUBLE THE STANDARD RATE, OR A MINIMUM OF 3 INCHES WITH AN 80-90% COVER. EROSION CONTROL BLANKET MAY BE USED INSTEAD OF MULCH.
- TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
 - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
 - BEFORE STABILIZATION, SNOW OR ICE MUST BE REMOVED TO LESS THAN 1 INCH THICKNESS.
 - A MINIMUM OF 25 FOOT BUFFER SHALL BE MAINTAINED FROM PERIMETER CONTROLS SUCH AS SILT FENCE.



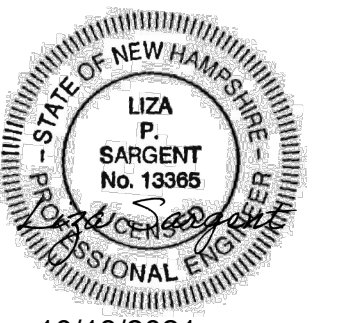
- GRADING & DRAINAGE NOTES:**
1. SEE DWG. C-3 FOR LEGEND
 2. REFER TO C-2 - SITE PREPARATION PLAN FOR EROSION CONTROL MEASURES THAT NEED TO BE IN PLACE PRIOR TO START OF CONSTRUCTION.
 3. ADJUST ALL CATCH BASIN AND AREA DRAIN RIMS TO FINISH GRADE. ADJUST ALL GATE BOXES, CURBSTOPS, AND CLEANOUT COVERS TO FINISH GRADE.
 4. ALL HANDICAP CURB CUTS ARE SHOWN 0.1' ABOVE ADJACENT PAVEMENT TO ENSURE THAT THE CURBS ARE HIGH, GIVEN CONSTRUCTIBLE PAVEMENT TOLERANCES. CONTRACTOR SHALL CONSTRUCT THE PAVEMENT FLUSH WITH THE CURB BY CHAMFERING THE PAVEMENT AT 1" PER FOOT. SEE DETAIL.
 5. GRADES AT DOORS TO BE FLUSH AT THRESHOLD AND TO SLOPE AWAY AT 1/4" PER FOOT.
 6. TEMPORARY SEEDING AND MULCHING: TEMPORARILY MULCH DISTURBED AREAS, INCLUDING STOCKPILE, WHICH WILL NOT BE WORKED FOR 7 TO 21 DAYS WITH USE CHOPPED HAY ON SLOPES FLATTER THAN 3:1 OR EROSION CONTROL BLANKET ON SLOPES EXCEEDING 3:1. TEMPORARILY SEED AND MULCH/ECB DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR MORE THAN 21 DAYS. USE A MIX OF ANNUAL RYEGRASS AND PERENNIAL RYEGRASS.
 7. REFER TO DETAILS ON SHEET C-6 AND C-7.

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PREPARED FOR:
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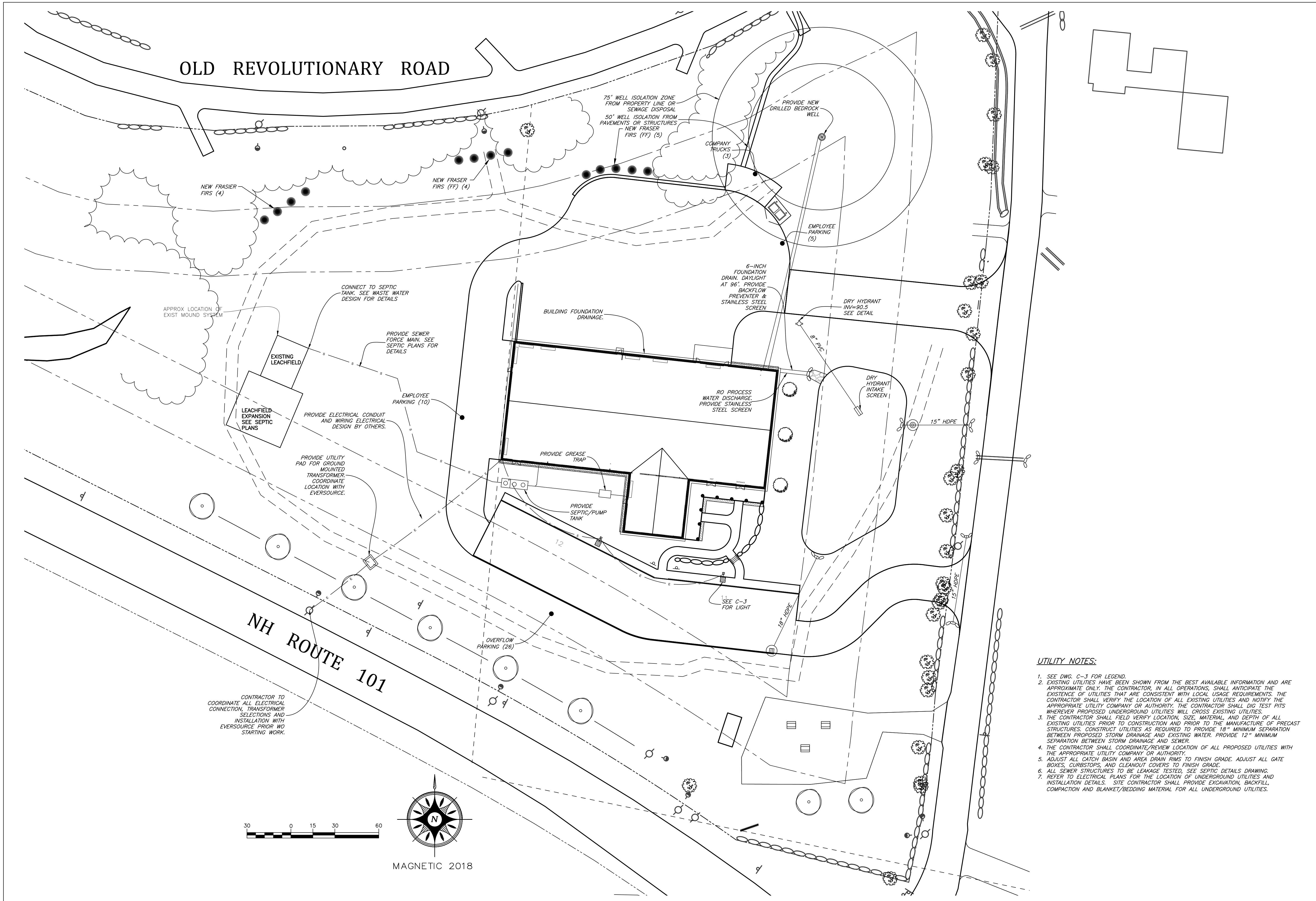
DATE: SEPTEMBER 13, 2021
 REVISION: ADD FOOT PATH, 4
 FRASIER FIRS, EXPANDED LEACHFIELD
 DATE: OCTOBER 11, 2021
 REVISION: ADA SPOT GRADING, TITLE
 BLOCK

**GRADING,
 DRAINAGE &
 EROSION PLAN**

DES. BY: HRH
 DWN. BY: EEF
 CHKD. BY: LS
 SCALE: AS SHOWN
 DATE: 06/09/2020
 PROJECT NUM: K2568
 DWG. NO.

C-4

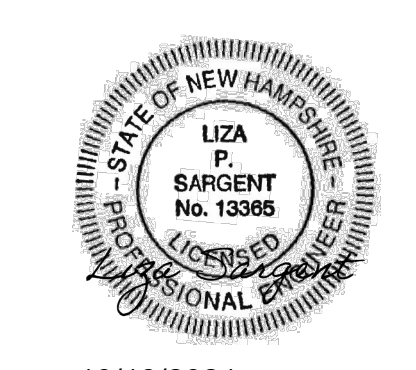
SHEET 5 OF 9



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FRASIER FIRS, EXPANDED LEACHFIELD
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UTILITIES PLAN

DES. BY	HRH
DWN. BY	EEF
CHKD. BY	LS
SCALE	AS SHOWN
DATE	06/09/2020
PROJECT NUM:	K2568
DWG. NO.	

C-5
SHEET 6 OF 9

- UTILITY NOTES:**
- SEE DWG. C-3 FOR LEGEND.
 - EXISTING UTILITIES HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE ONLY. THE CONTRACTOR, IN ALL OPERATIONS, SHALL ANTICIPATE THE EXISTENCE OF UTILITIES THAT ARE CONSISTENT WITH LOCAL USAGE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY COMPANY OR AUTHORITY. THE CONTRACTOR SHALL DIG TEST PITS WHEREVER PROPOSED UNDERGROUND UTILITIES WILL CROSS EXISTING UTILITIES.
 - THE CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND PRIOR TO THE MANUFACTURE OF PRECAST STRUCTURES. CONSTRUCT UTILITIES AS REQUIRED TO PROVIDE 18" MINIMUM SEPARATION BETWEEN PROPOSED STORM DRAINAGE AND EXISTING WATER. PROVIDE 12" MINIMUM SEPARATION BETWEEN STORM DRAINAGE AND SEWER.
 - THE CONTRACTOR SHALL COORDINATE/REVIEW LOCATION OF ALL PROPOSED UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AUTHORITY.
 - ADJUST ALL CATCH BASIN AND AREA DRAIN RIMS TO FINISH GRADE. ADJUST ALL GATE BOXES, CURBSTOPS, AND CLEANOUT COVERS TO FINISH GRADE.
 - ALL SEWER STRUCTURES TO BE LEAKAGE TESTED. SEE SEPTIC DETAILS DRAWING.
 - REFER TO ELECTRICAL PLANS FOR THE LOCATION OF UNDERGROUND UTILITIES AND INSTALLATION DETAILS. SITE CONTRACTOR SHALL PROVIDE EXCAVATION, BACKFILL, COMPACTION AND BLANKET/BEDDING MATERIAL FOR ALL UNDERGROUND UTILITIES.

SEDIMENT AND EROSION CONTROL:

1. INSTALL ALL SEDIMENT & EROSION CONTROL MEASURES IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS OR DETAILS PROVIDED. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL. THEY SHALL TAKE ALL MEASURES NEEDED TO MINIMIZE EROSION TO THE GREATEST EXTENT POSSIBLE, AT NO ADDITIONAL COST TO THE OWNER, REGARDLESS OF DETAIL SHOWN ON THESE PLANS.
3. CONTRACTOR SHALL INSPECT & REPAIR ALL SEDIMENT AND EROSION CONTROL MEASURES DAILY WHILE UNDER CONSTRUCTION, THEN AFTER EACH RAINFALL OF 0.5" IN 24 HOURS AND NOT LESS THAN ONCE A WEEK THEREAFTER UNTIL ALL UPHILL SOILS ARE WELL STABILIZED.
4. CONTRACTOR SHALL MAINTAIN INSPECTION LOGS ON SITE AS REQUIRED BY THE EPA STORMWATER POLLUTION PREVENTION PLAN.
5. SEED, FERTILIZE & MULCH ALL FINISH GRADED AREAS WITHIN 72 HOURS OF FINISH GRADING, ROADWAY STABILIZED W/IN 72 HOURS OF ACHIEVING FINISH GRADE.
6. SEDIMENT CONTROLS AND/OR SILT FENCES SHALL BE REPLACED WHEN CLOGGED AND NO LONGER FUNCTIONAL.
7. SEDIMENT CONTROLS AND/OR SILT FENCES SHALL REMAIN IN PLACE UNTIL ALL UPHILL VEGETATED AREAS ARE STABILIZED.
8. ALL SOIL STOCKPILES SHALL BE SEEDED AND MULCHED IF LEFT IN PLACE MORE THAN 21 DAYS.
9. SEEDING OF ALL DISTURBED AREAS SHALL BE COMPLETED NOT LATER THAN OCTOBER 15TH.
10. STABILIZATION OF ALL WORK AREAS SHALL BE COMPLETED NOT MORE THAN 45 DAYS FOLLOWING THE START OF WORK.
11. ALL SOIL SLOPES STEEPER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL FABRIC, S150 FROM NORTH AMERICAN GREEN OR APPROVED EQUAL.
12. STABILIZED ALL DRAINAGE SWALES, BASINS, BERMS AND DITCHES PRIOR TO DIRECTING RUNOFF TO THEM.
13. CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE SEDIMENT AND EROSION CONTROLS AS REQUESTED BY THE ENGINEER.
14. LIMIT THE AREA OF DISTURBANCE TO SMALLEST PRACTICAL AREA, BUT IN NO CASE MORE THAN 5 ACRES AT ANY ONE TIME.

WINTER CONSTRUCTION REQUIREMENTS:

1. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND 1) INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 OR 2) PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. THE INSTALLATION OF EROSION CONTROL BLANKETS AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF SPRING THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES WHERE WORK HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL MEETING NHDOT ITEM 304.3 SPECIFICATIONS.

PROJECT SPECIFIC NOTES:

1. ALL STORM DRAIN TO BE HIGH DENSITY SMOOTH BORE POLYETHYLENE, HANCOR OR APPROVED EQUAL, U.N.O.
2. ALL AREAS TO BE VEGETATED SHALL RECEIVE A MINIMUM OF 6" OF LOAM, SEED AND MULCH. IF PLANS OR SPECIFICATIONS HAVE CONFLICTING DEPTHS OF LOAM, 6" OF LOAM SHALL BE THE PREVAILING DEPTH USED.
3. SEEDING OF ALL DISTURBED AREAS SHALL BE COMPLETED NOT LATER THAN OCTOBER 15TH.
4. SEEDING OF ALL FINISHED AREAS SHALL BE COMPLETED NOT MORE THAN 72 HOURS AFTER FINISH GRADING.
5. STABILIZATION OF ALL WORK AREAS SHALL BE COMPLETED NOT MORE THAN 45 DAYS FOLLOWING THE START OF WORK.
6. BROOM, WASH AND APPLY TACK COAT TO BASE PAVEMENT PRIOR TO WEAR COURSE PLACEMENT.
7. ALL NEW EXTERIOR LIGHTS SHALL BE SHIELDED TO PROTECT AGAINST ADDED LIGHT POLLUTION.
8. STABILIZE ALL DRAINAGE SWALES PRIOR TO DIRECTING RUNOFF TO THEM.
9. PER RSA 155E:2 IF THE EXCAVATION VOLUME EXCEEDS 1,000 CUBIC YARDS, CONTRACTOR SHALL FILE "NOTICE OF INTENT TO EXCAVATE" WITH LOCAL AUTHORITY & PAY TAXES AS NEEDED.

SEQUENCE OF WORK:

THE SEQUENCE OF WORK SHALL BE FOLLOWED WITHIN EACH PHASE OF THE PROJECT. AT NOT TIME OR PLACE SHALL PROJECT PHASING SUPERCEDE SOUND SEDIMENT AND EROSION CONTROL PLANNING.

1. INSTALL SILT FENCE IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS, IN LOCATIONS DETAILED ON THIS PLAN OR AS ORDERED BY THE ENGINEER.
2. CONSTRUCT THE STABILIZED CONSTRUCTION ENTRANCE TO PREVENT TRACKING OF SEDIMENT OFFSITE.
3. CONSTRUCT AND STABILIZED THE DETENTION CONTROLS AND ALL INLET/OUTLET SWALES.
4. CLEAR AND GRUB THE ROAD/DRIVEWAY CORRIDOR.
5. INSTALL WATER LINE FOLLOWED BY OTHER UTILITIES.
6. CONSTRUCT ACCESS DRIVE IN ACCORDANCE WITH APPROVED PLANS.
7. CLEAR & GRUB BUILDING/PARKING AREA. CONSTRUCT NEW PARKING LOT AND BUILDING.
8. LOAM AND SEED DISTURBED AREAS, STABILIZE SLOPES WITH MATTING WHERE SPECIFIED.
9. REMOVE SILT FENCE AFTER ALL UPHILL SOILS ARE STABILIZED.

DUST CONTROL:

DUST CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

1. PHASE CONSTRUCTION AND SEQUENCE EARTH DISTURBANCE ACTIVITIES TO REDUCE THE AREA OF LAND DISTURBED AT ANY ONE TIME.
2. MAINTAIN AS MUCH NATURAL VEGETATION AS IS PRACTICABLE.
3. USE TRAFFIC CONTROL TO RESTRICT TRAFFIC TO PREDETERMINED ROUTES.
4. USE TEMPORARY MULCHING, PERMANENT MULCHING, TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER TO REDUCE THE NEED FOR DUST CONTROL.
5. APPLY WATER, OR OTHER DUST INHIBITING AGENTS OR TACKIFIERS, AS APPROVED BY THE NHDES.

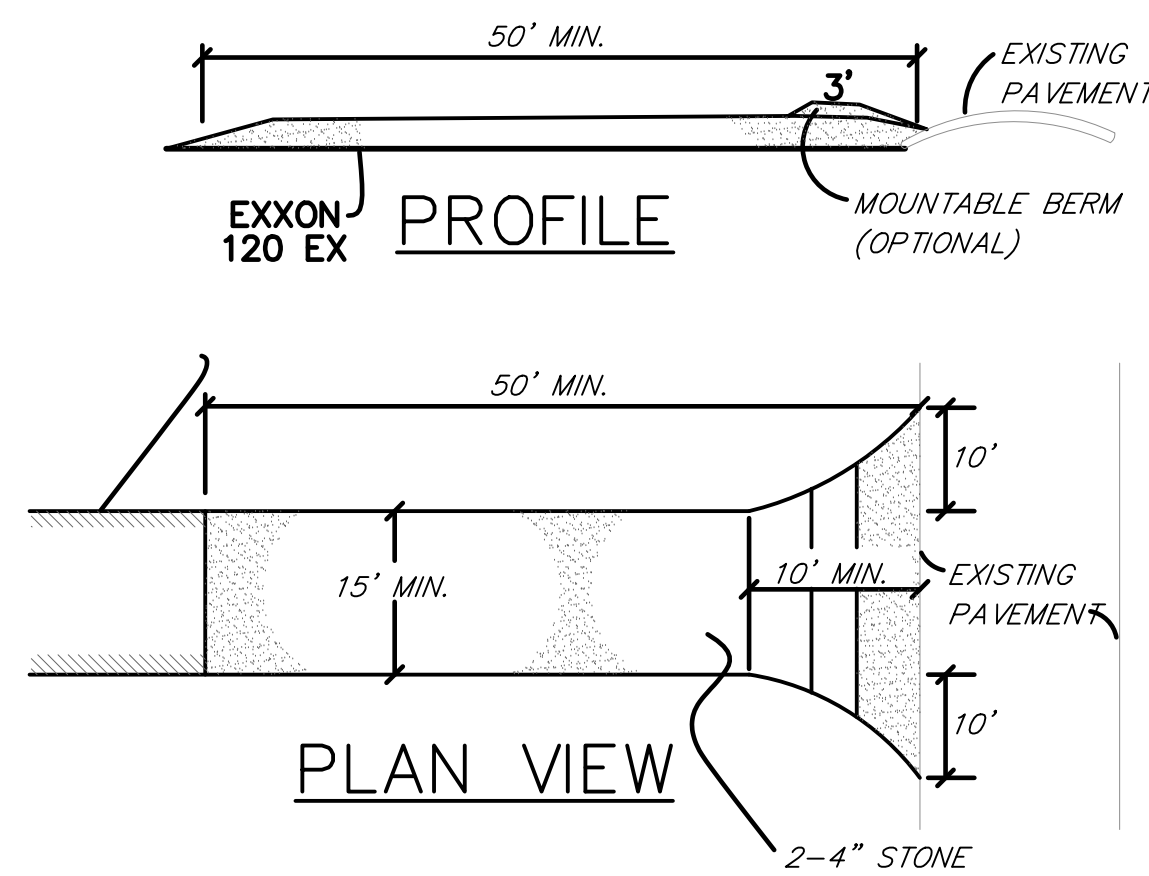
STABILIZATION DEFINITION:

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED;
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

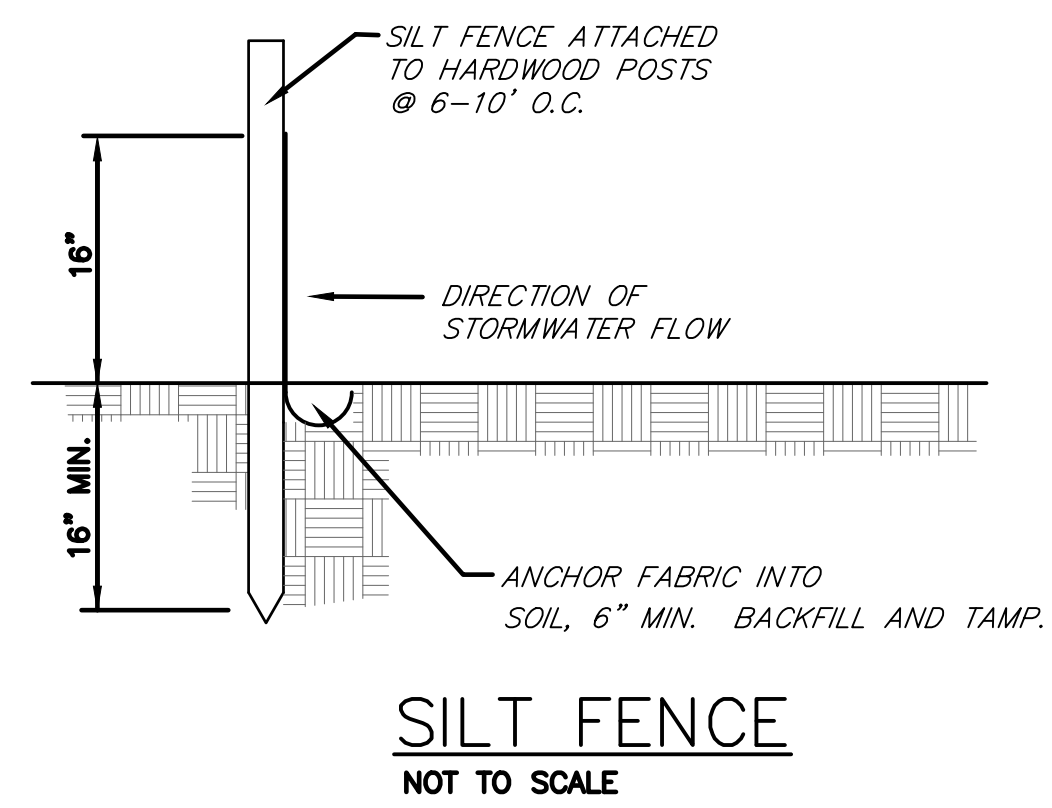
PERMITS REQUIRED:

1. TOWN OF TEMPLE, SITE PLAN REVIEW
2. NHDES ALTERATION OF TERRAIN
3. NHDES SUBSURFACE
4. EPA STORMWATER POLLUTION PREVENTION PLAN



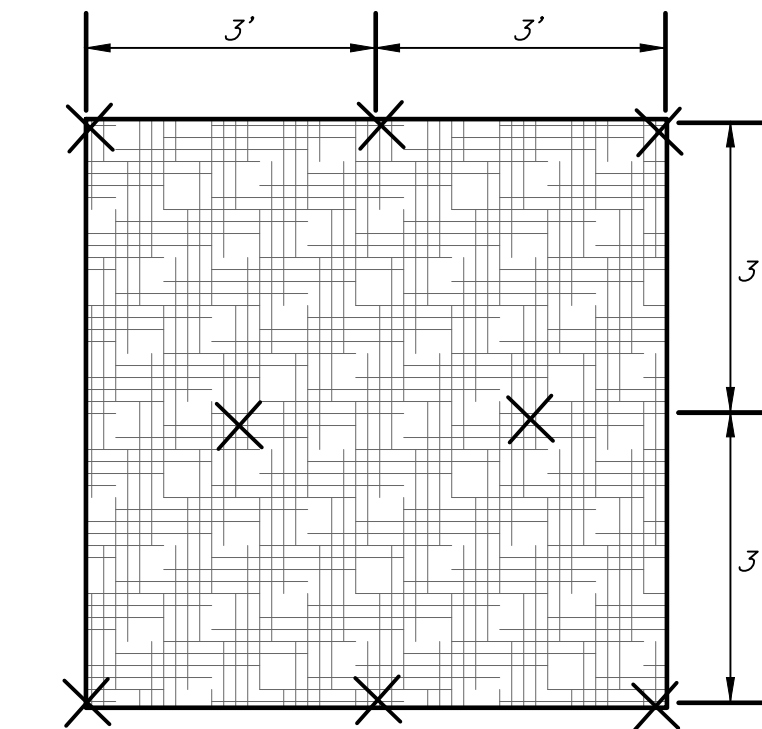
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



SILT FENCE

NOT TO SCALE



EROSION CONTROL MATTING SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S DIRECTIONS, THIS IS ONLY A GUIDELINE. ROLL OUT MATTING DOWNHILL AND STAPLE AS REQUIRED FOR SLOPE. MATTING SHOULD OVERLAP BY A MINIMUM OF 4 INCHES AND STAPLED AT THE EDGE OF EACH ROLL.

EROSION CONTROL BLANKET

NOT TO SCALE

SEED SPECIFICATIONS

TEMPORARY SEED

PERENNIAL RYE GRASS

PERMANENT SEED:

ALL MOWABLE AREAS: PARK SEED NHDOT TYPE 15 (CONSERVATION MIX ACCEPTABLE, AS APPROVED BY ENGINEER)

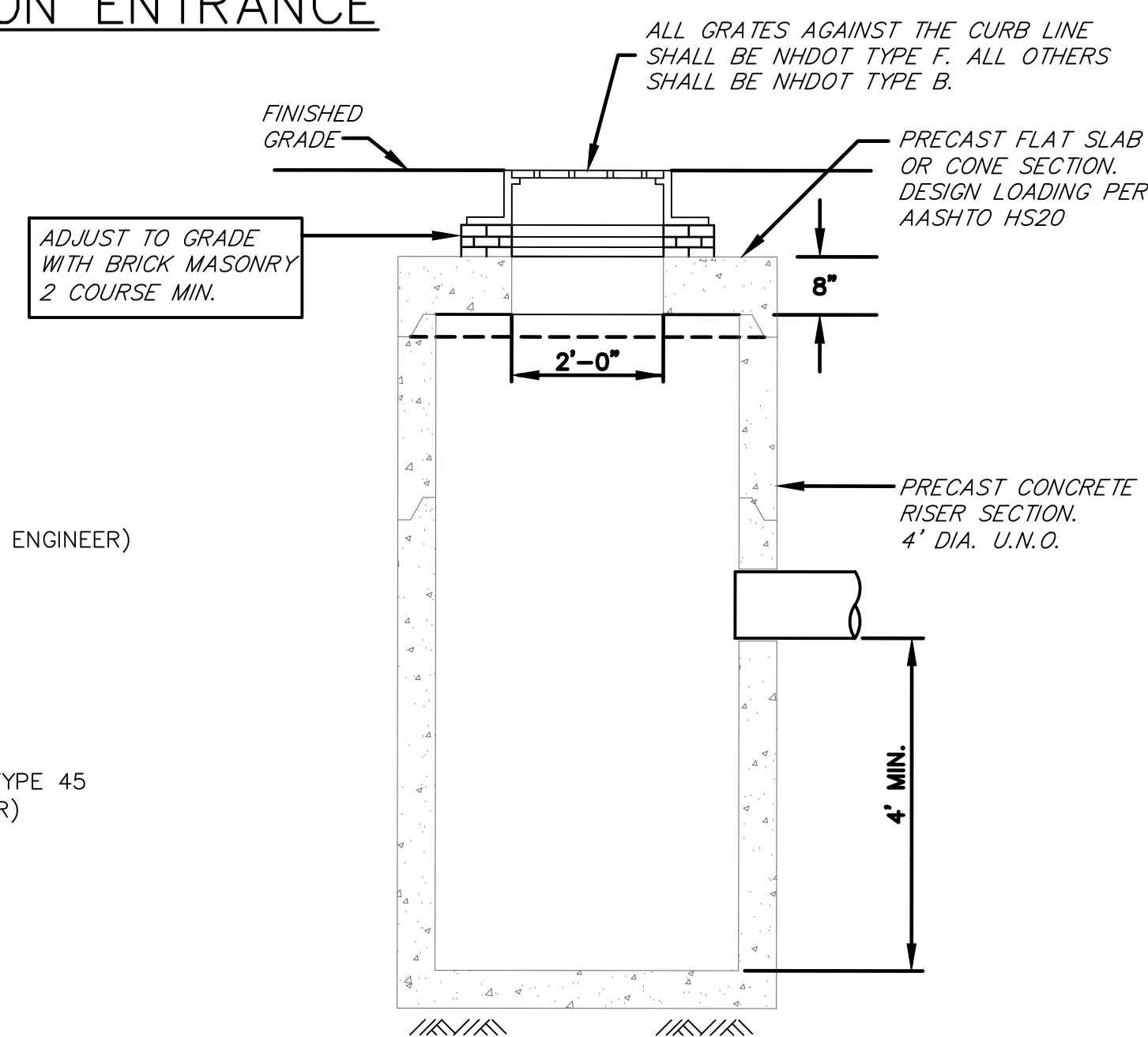
CREeping RED FESCUE	40 LB/AC
PERENNIAL RYEGRASS	50 LB/AC
KENTUCKY BLUEGRASS	25 LB/AC
REDTOP	5 LB/AC

TOTAL: 120 LB/AC

ALL SLOPES 5:1 OR STEEPER: SLOPE SEED NHDOT TYPE 45 (OR OTHER WILDFLOWER MIX APPROVED BY ENGINEER)

CREeping RED FESCUE	35 LB/AC
PERENNIAL RYEGRASS	30 LB/AC
REDTOP	5 LB/AC
ALSIKE CLOVER	5 LB/AC
LANCE-LEAVED COREOPSIS	5 LB/AC
OXEYE DAISY	3 LB/AC
BUTTERFLY WEED	3 LB/AC
BLACKEYED SUSAN	3 LB/AC
WILD LUPINE	3 LB/AC

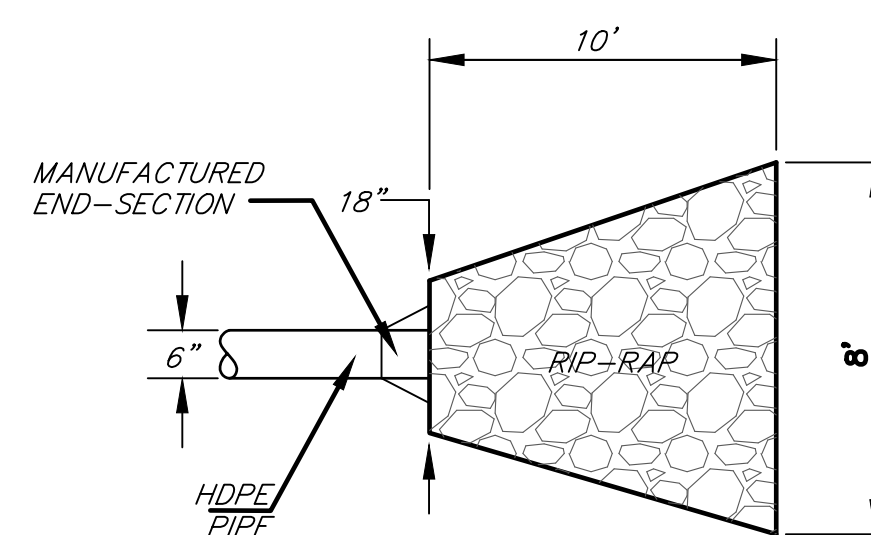
TOTAL: 95 LB/AC



TYPICAL DRAINAGE STRUCTURE

NOT TO SCALE

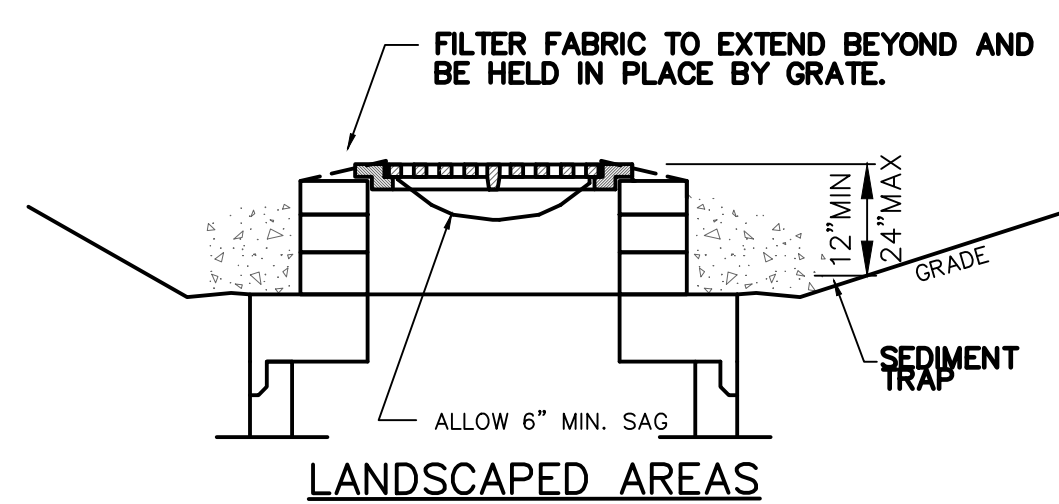
7" MINUS STONE, U.N.O. EMBEDDED STONE DEPTH = 12" STONE SHALL OVERLAY FABRIC EXXON 120 EX OR APPROVED EQUAL



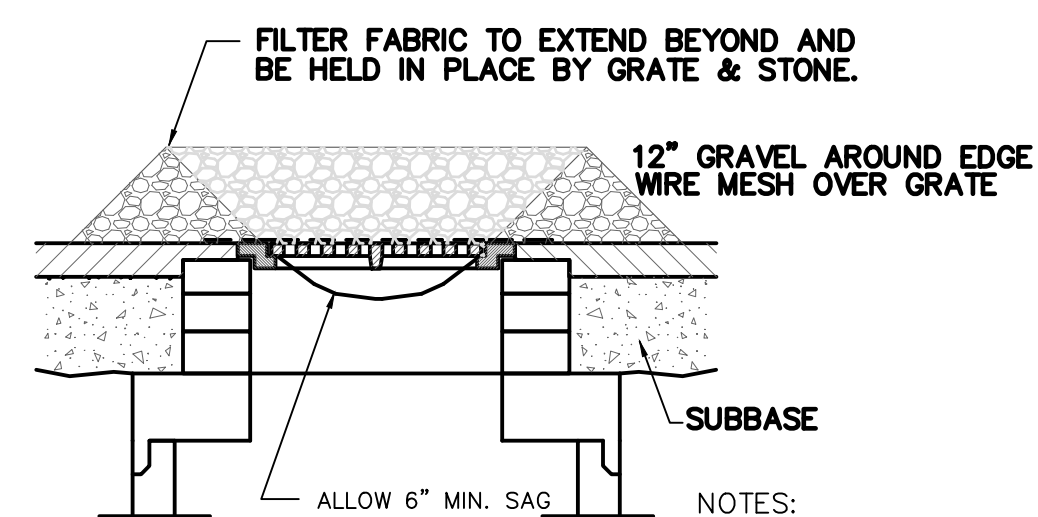
APRON SIZING BY EROSION & SEDIMENT CONTROL HANDBOOK, (GOLDMAN/JACKSON)

RIP-RAP APRON DETAIL

NOT TO SCALE



LANDSCAPED AREAS



PAVED AREAS

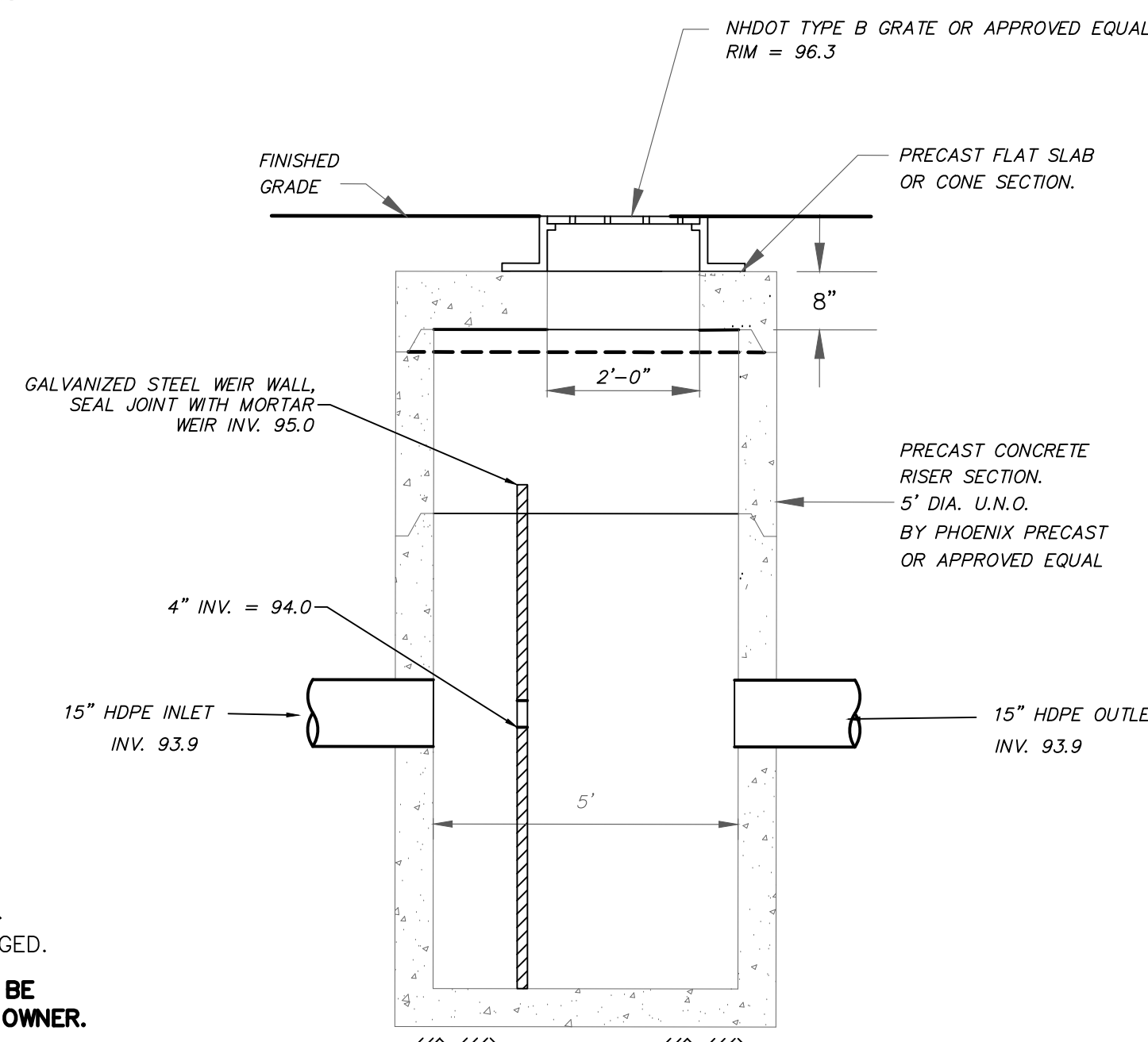
NOTES:

1. TEMPORARY DURING CONSTRUCTION.
2. REMOVE AND REPLACE WHEN CLOGGED.

REGULAR MAINTENANCE, INCLUDING REPLACEMENT OF SEDIMENT & EROSION CONTROLS SHALL BE CONDUCTED IN ACCORDANCE WITH ALL PERMIT CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.

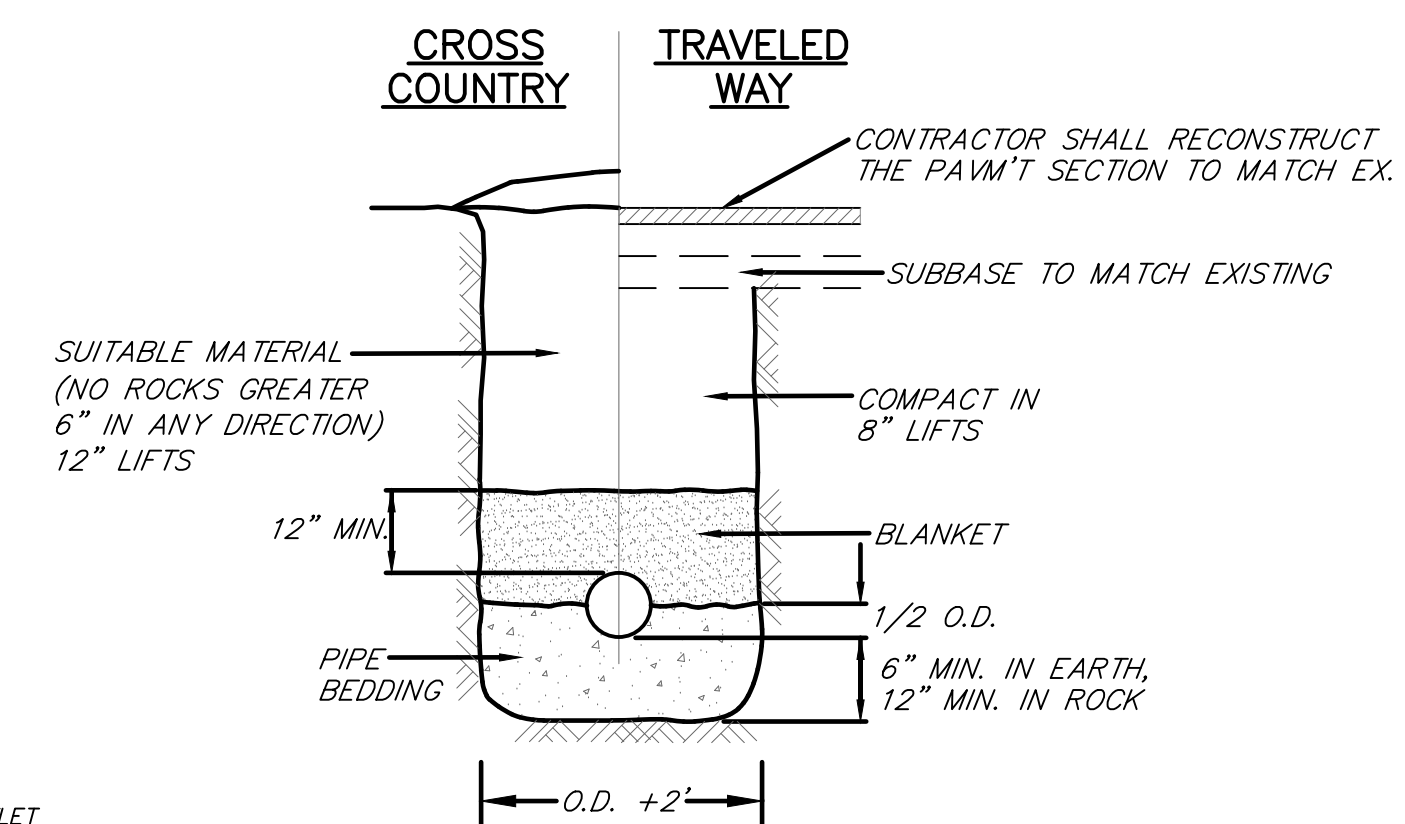
CATCH BASIN GRATE INLET FILTER

NOT TO SCALE



DETENTION STRUCTURE

NOT TO SCALE



PIPE MATERIAL BEDDING

PIPE MATERIAL	6" SAND	12" SAND
DUCTILE IRON	6" SAND	12" SAND
PVC	6" SAND	12" SAND
HDPE	6" SAND	12" SAND
PLASTIC	6" SAND	12" SAND
COPPER	6" SAND	12" SAND
SDR 35	6" SAND	12" SAND

STONE HALF WAY UP PIPE & 12" SAND ABOVE

PIPE IN TRENCH DETAIL

NOT TO SCALE

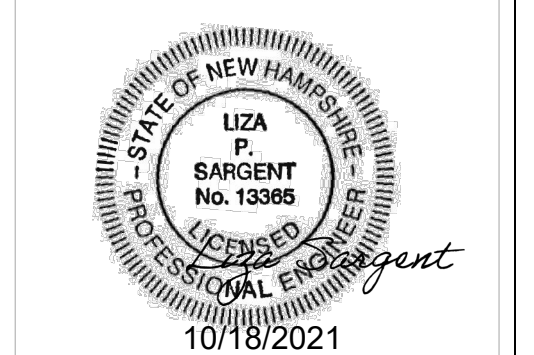
Brickstone
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PURPOSE OF DRAWING:
OCTOBER 14, 2021
PERMITTING

BEN'S SUGAR SHACK

WEBSTER HIGHWAY
TEMPLE, NH

PREPARED FOR:
BEN'S MAPLE PRODUCTS LLC
83 WEBSTER HIGHWAY
TEMPLE, NH

DATE: SEPTEMBER 13, 2021
REVISION: ADD FOOT PATH, 4 FRASIER FIRS, EXPANDED LEACHFIELD

DATE: OCTOBER 11, 2021
REVISION: TITLE BLOCK, DET. STRUCTURE

DRAINAGE AND
EROSION
CONTROL DETAILS

DES. BY _____ LS

DWN. BY _____ LS

CHKD. BY _____ LS

SCALE AS SHOWN

DATE 06/09/2020

PROJECT NUM: K2568

DWG. NO. _____

C-6

SHEET 7 OF 9

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CALL DIG-SAFE, AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE THE START OF EXCAVATION.
2. THE CONTRACTOR IS EXPECTED TO BE AWARE OF AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS.
3. ALL TRENCHING, EXCAVATION, SHEETING, SHORING, ETC. SHALL COMPLY WITH THE MOST CURRENT OSHA REGULATIONS.
4. THE CONTRACTOR SHALL NOTIFY SVE ASSOCIATES IF FIELD CONDITIONS VARY FROM THAT SHOWN ON THE PLAN(S). THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLAN(S) UNLESS SO AUTHORIZED BY SVE ASSOCIATES.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH SITE PLANS AND SPECIFICATIONS PROVIDED OR IN ACCORDANCE WITH NH DEP'T OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
6. IN CASE OF CONFLICTS, THE MOST STRINGENT INTERPRETATION OF THE PLANS, SPECIFICATIONS, LOCAL OR STATE REGULATIONS, OR PERMIT CONDITIONS SHALL APPLY. THE ENGINEER SHALL BE THE DETERMINANT AS TO WHAT APPLIES.
7. ALL KNOWN SUBSURFACE UTILITIES AND STRUCTURES HAVE BEEN INDICATED ON THE PLAN(S) AS ACCURATELY AS POSSIBLE. THE EXACT LOCATION MAY VARY AND THE CONTRACTOR IS CAUTIONED TO PROCEED WITH CARE.
8. CONTRACTOR SHALL VERIFY ALL BENCH MARKS, INVERTS, PIPES AND STRUCTURES ELEVATIONS PRIOR TO START OF WORK. IMMEDIATELY NOTIFY SVE ASSOCIATES IF THE FIELD INFORMATION DOES NOT MATCH PLAN INFORMATION.
9. THE OWNER WILL PROVIDE BENCH MARKS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL OTHER LAYOUT AND FOR REPLACEMENT OF LAYOUT COMPLETED BY THE OWNER.
10. CONTRACTOR SHALL PROVIDE A FULL SET OF AS-BUILT DRAWINGS TO THE OWNER WITH SWING TIES OR COORDINATES, LOCATING ALL STRUCTURES, PIPES, ETC. THE AS-BUILTS SHALL INDICATE MATERIALS, PIPE LENGTHS INSTALLED, ALL INVERTS, AND ALL STRUCTURE ELEVATIONS. ACCEPTANCE OF THE WORK IS SUBJECT TO ACCEPTANCE OF THE AS-BUILTS BY THE ENGINEER AND OWNER.
11. MONUMENTATION THAT HAS BEEN DISTURBED SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT NO COST TO THE OWNER.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DE-WATERING AT NO ADDITIONAL COST TO THE OWNER.
13. ALL SURFACES SHALL BE GRADED TO DRAIN.
14. ALL TREES WHOSE ROOTS HAVE BEEN DAMAGED SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SURFACES TO THEIR ORIGINAL CONDITION OR BETTER. ALL NEW AND EXISTING PIPES AND STRUCTURES SHALL BE CLEANED. ALL SIGNS SHALL BE REPLACED. ALL DAMAGED VEGETATION SHALL BE REPLACED.

A.D.A. ACCESSIBILITY NOTES:

ALL CONSTRUCTION SHALL COMPLY WITH DEPARTMENT OF JUSTICE 28 CFR PART 36, A.D.A. STANDARDS FOR ACCESSIBLE DESIGN. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

PARKING SPACES AND ACCESS AISLES:

1. PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ANY DIRECTION.
2. MINIMUM PARKING SPACE WIDTH SHALL BE 8 FT.
3. MINIMUM ACCESS AISLE WIDTH SHALL BE 5 FT (8 FT. FOR VAN ACCESSIBLE SPACES).
4. ACCESSIBLE SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL BE FURTHER DESIGNATED AS SUCH BY APPROPRIATE SIGNAGE.

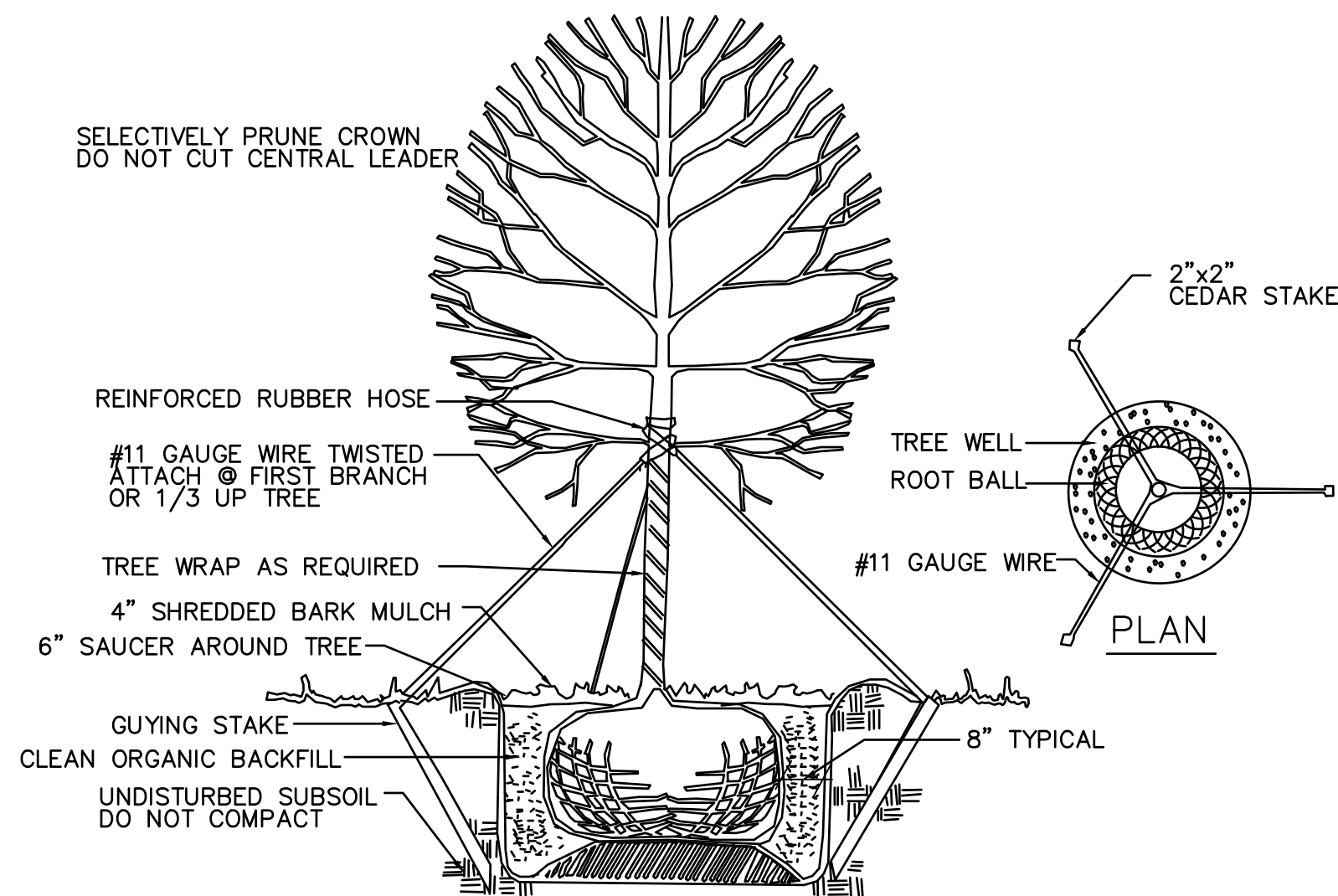
ACCESSIBLE ROUTES:

5. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, A.D.A. PARKING, PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS, TO AN A.D.A. BUILDING ENTRANCE.
6. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT A.D.A. ACCESSIBLE BUILDINGS, ACCESSIBLE ELEMENTS AND FACILITIES (MAILBOXES, TRASH RECEPTACLES, COMMON AREAS), AND A.D.A. PARKING THAT ARE ON THE SAME SITE.
7. MAXIMUM SLOPE OF SURFACES ADJACENT TO AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%).
8. CURB RAMP FLARES SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%).
9. MAXIMUM CROSS-SLOPE ALONG ANY PORTION OF THE ACCESSIBLE ROUTE SHALL NOT EXCEED 1:50 (2%).
10. TRANSITIONS FROM RAMPS AND WALKS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.

RAMPS:

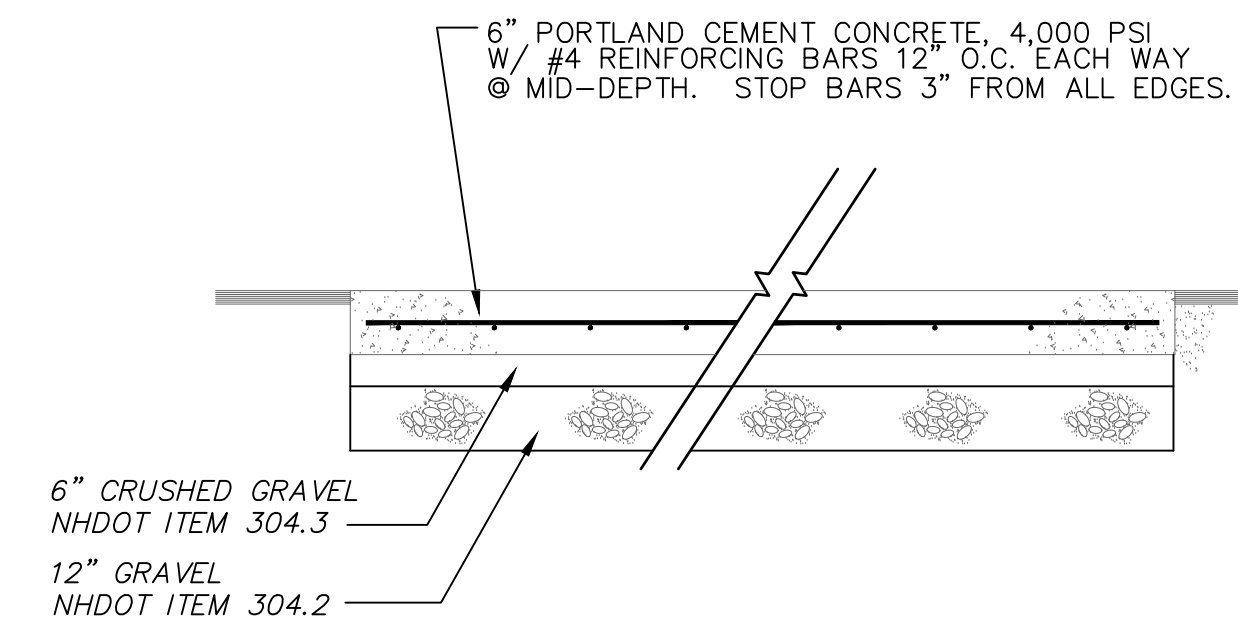
11. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 (5%) SHALL BE CONSIDERED A RAMP.
12. THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP.
13. MAXIMUM SLOPE OF ANY RAMP SHALL BE 1:12 (8.33%).
14. MAXIMUM RISE OF ANY RAMP SHALL BE 30 IN. ANY RAMP HAVING A RISE GREATER THAN OR EQUAL TO 6 IN. SHALL HAVE AT LEAST ONE HANDRAIL.
15. RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP. LANDINGS SHALL BE AS WIDE AS THE RAMP AND AT LEAST 60 IN. LONG.
16. OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

IN THE EVENT THAT THESE REQUIREMENTS CONFLICT WITH DESIGN PLANS, OR IF FIELD CONDITIONS RENDER THESE UNATTAINABLE, CONTACT THE ARCHITECT AND/OR ENGINEER PRIOR TO BEGINNING WORK.



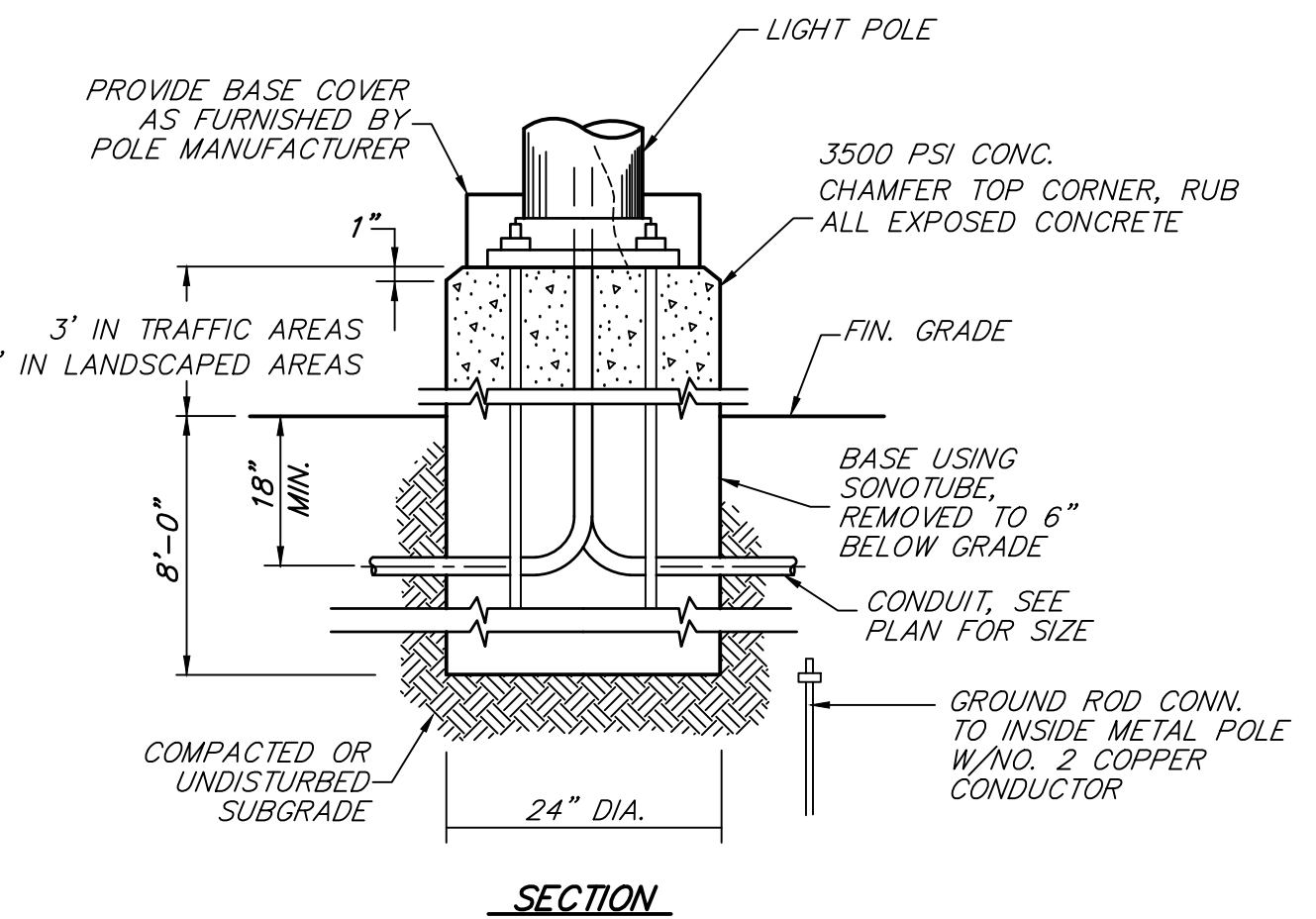
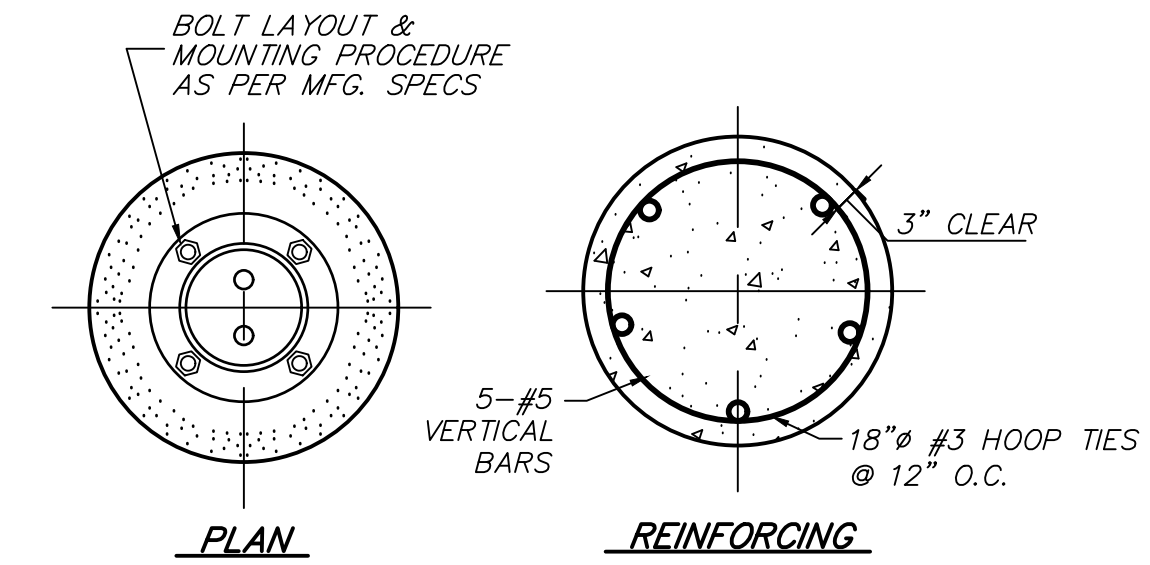
TREE PLANTING & GUYING DETAIL

NO SCALE



CONCRETE PAVEMENT SECTION

NO SCALE

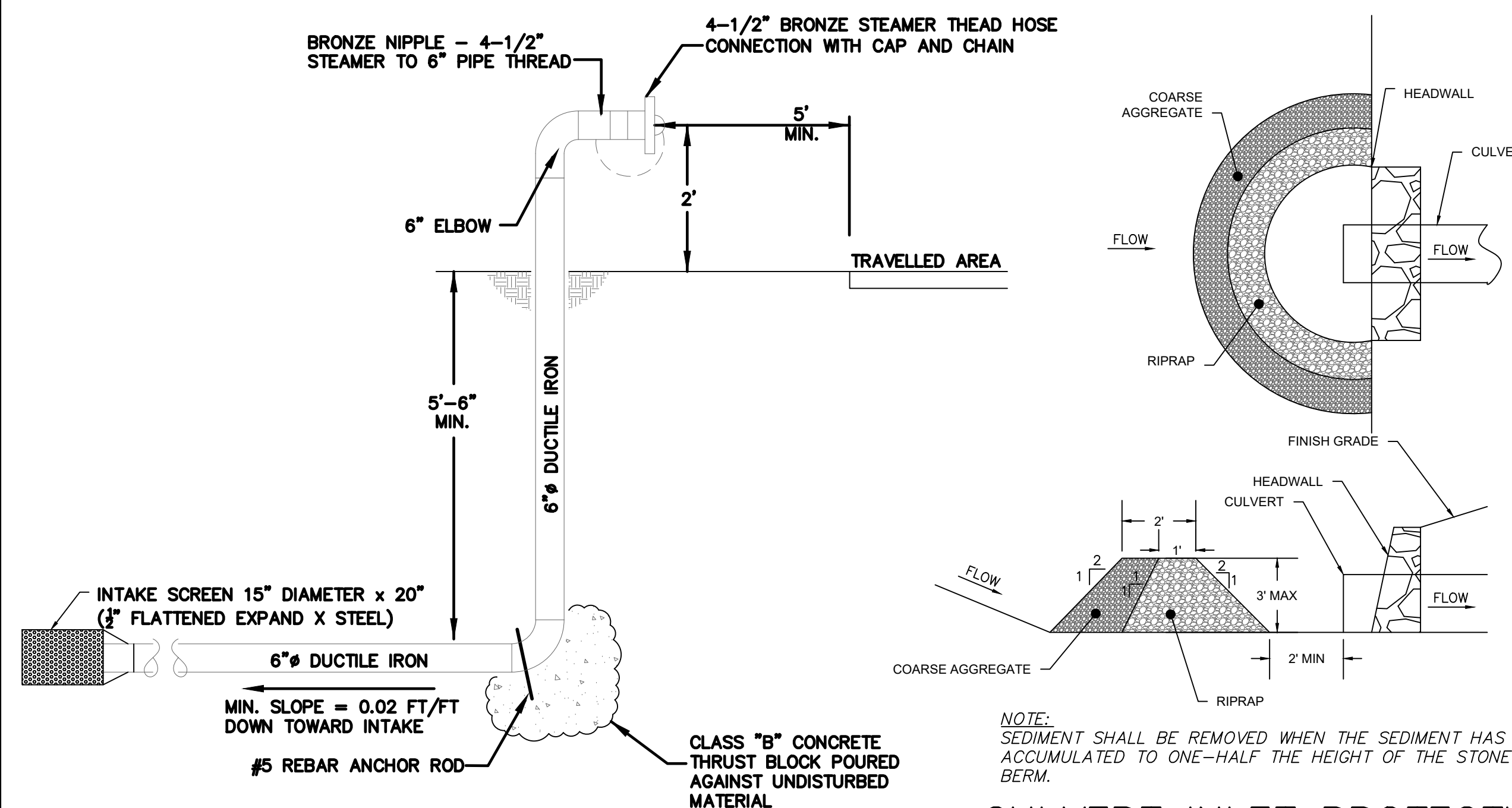


NOTE: LIGHT POLE BASE LOCATIONS:

1. TRAFFIC AREAS: 4 FEET FROM FACE OF POLE BASE TO PAVEMENT EDGE.
2. PEDESTRIAN AREAS: 2 FEET FROM FACE OF POLE BASE TO SIDEWALK/TRAVEL WAY EDGE.

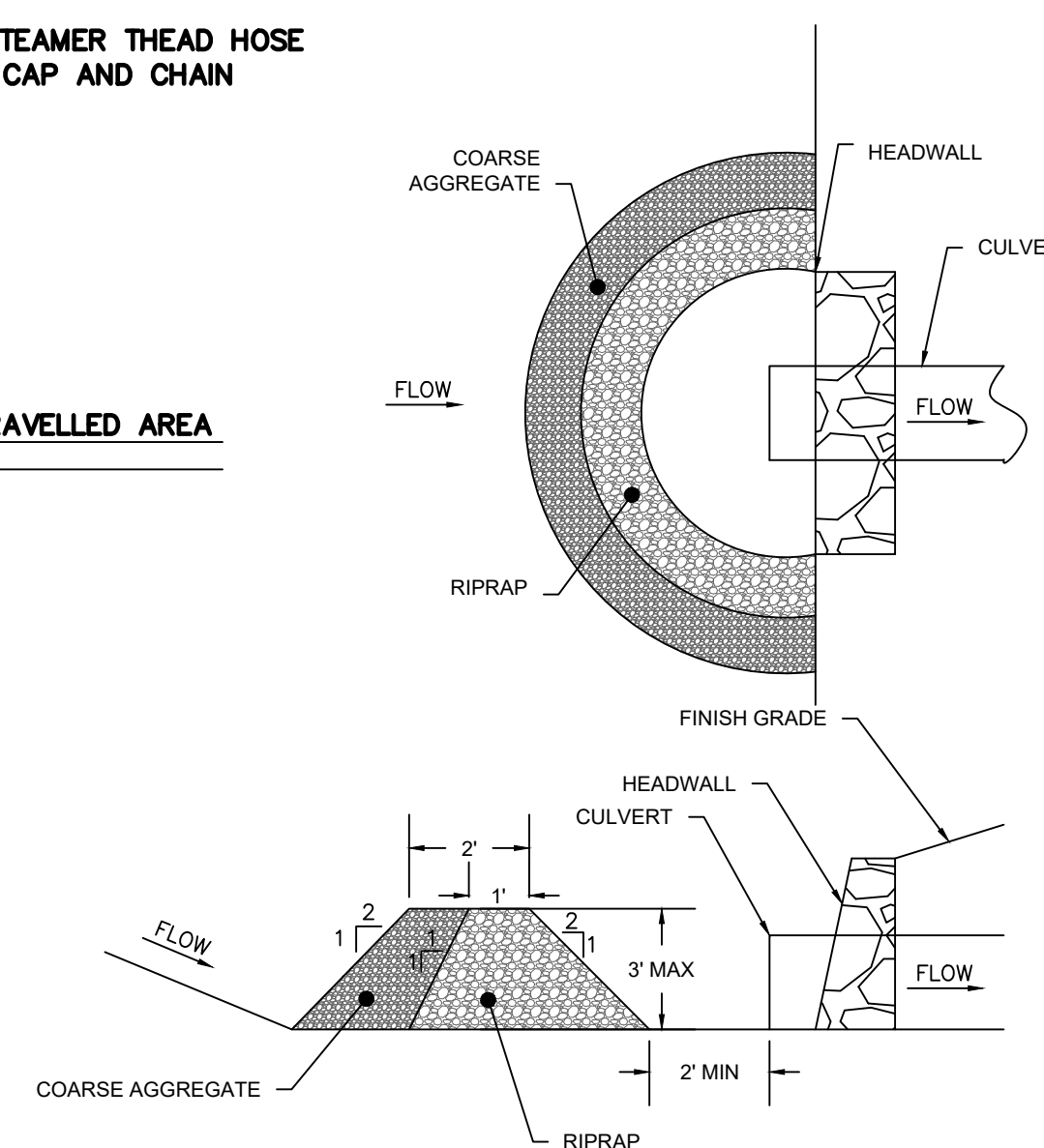
LIGHT POLE BASE DETAIL

NOT TO SCALE



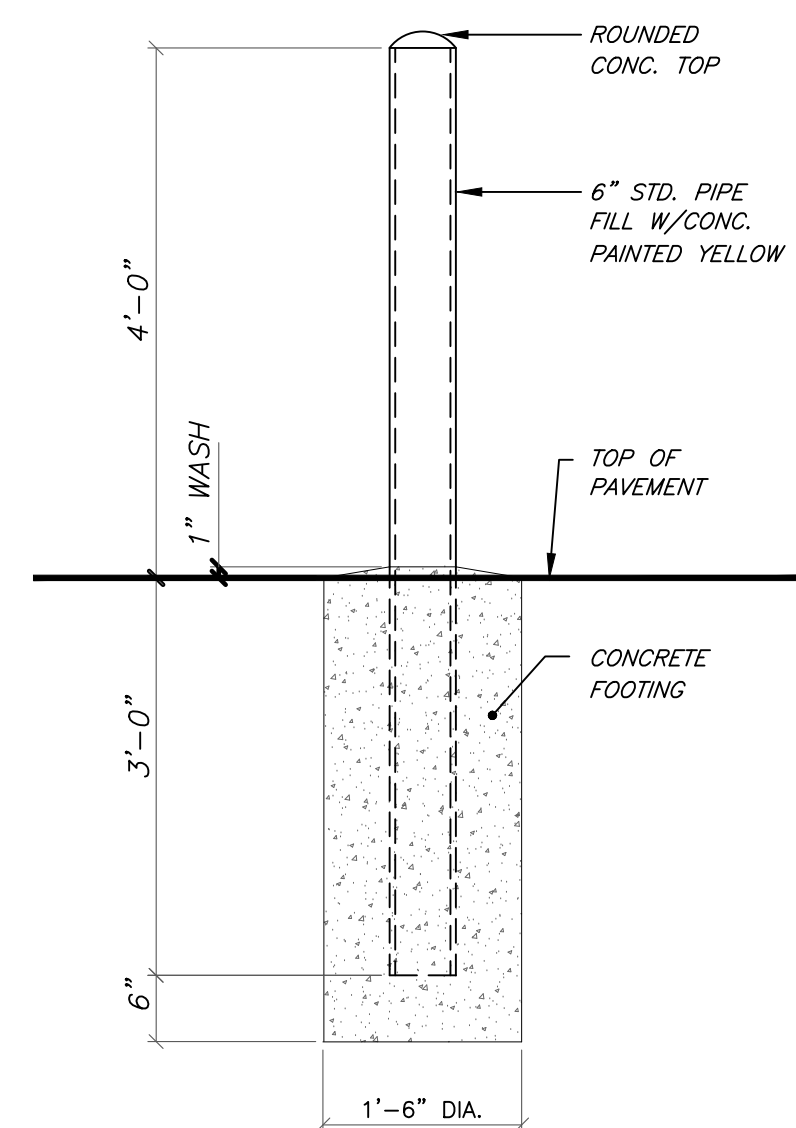
DRY HYDRANT DETAIL

NOT TO SCALE



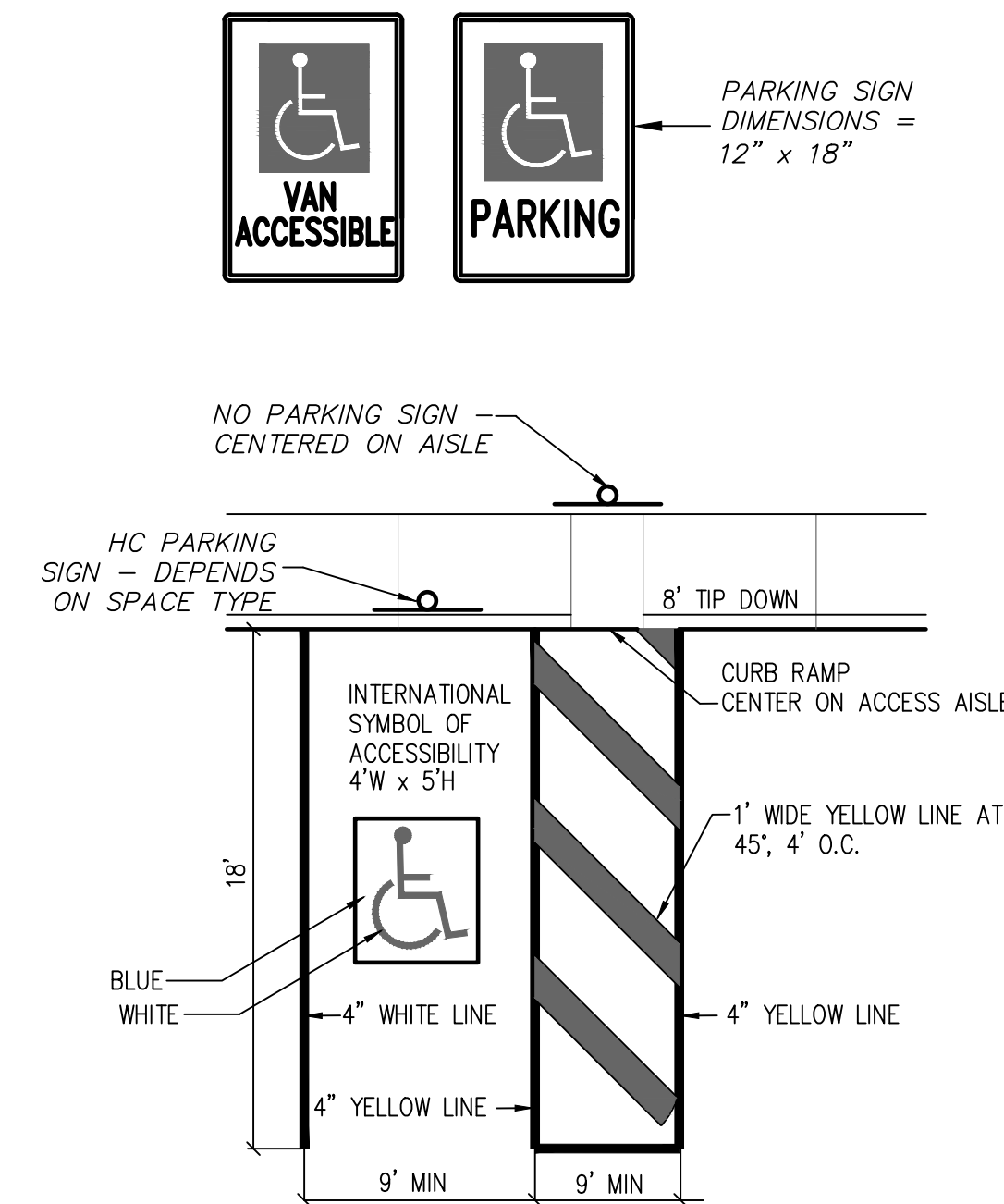
CULVERT INLET PROTECTION

NOT TO SCALE



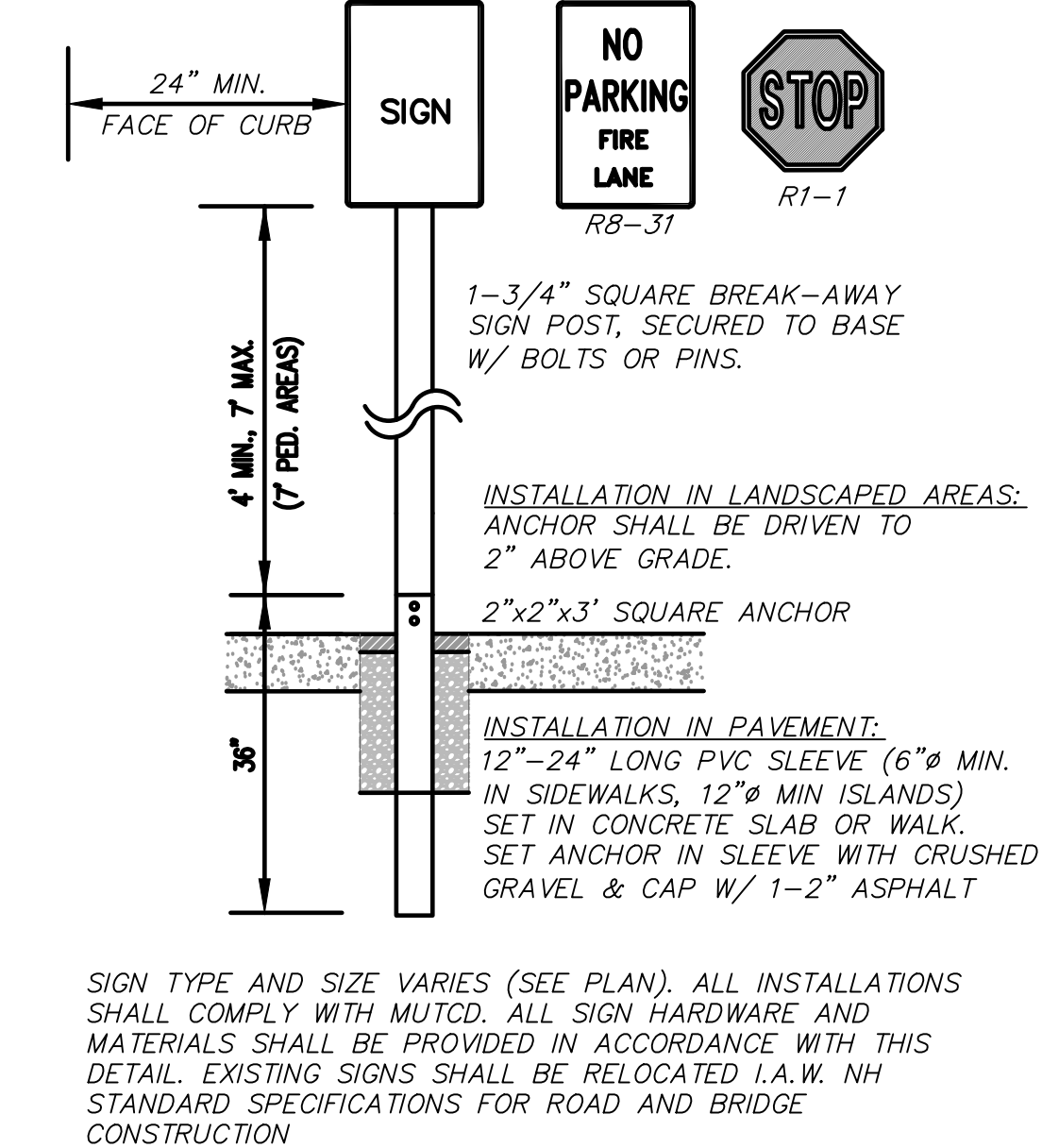
BOLLARD DETAIL

NOT TO SCALE



HANDICAP PARKING SPACE

NOT TO SCALE



SIGN DETAIL

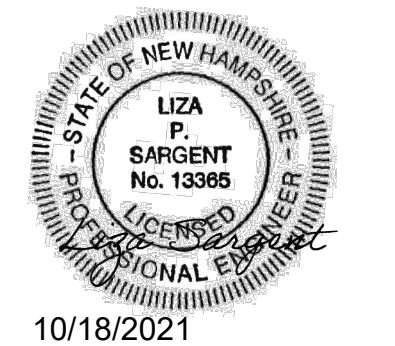
NOT TO SCALE

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PURPOSE OF DRAWING:
OCTOBER 14, 2021
PERMITTING

BEN'S SUGAR SHACK

WEBSTER HIGHWAY
TEMPLE, NH

PREPARED FOR:
BEN'S MAPLE PRODUCTS LLC
83 WEBSTER HIGHWAY
TEMPLE, NH

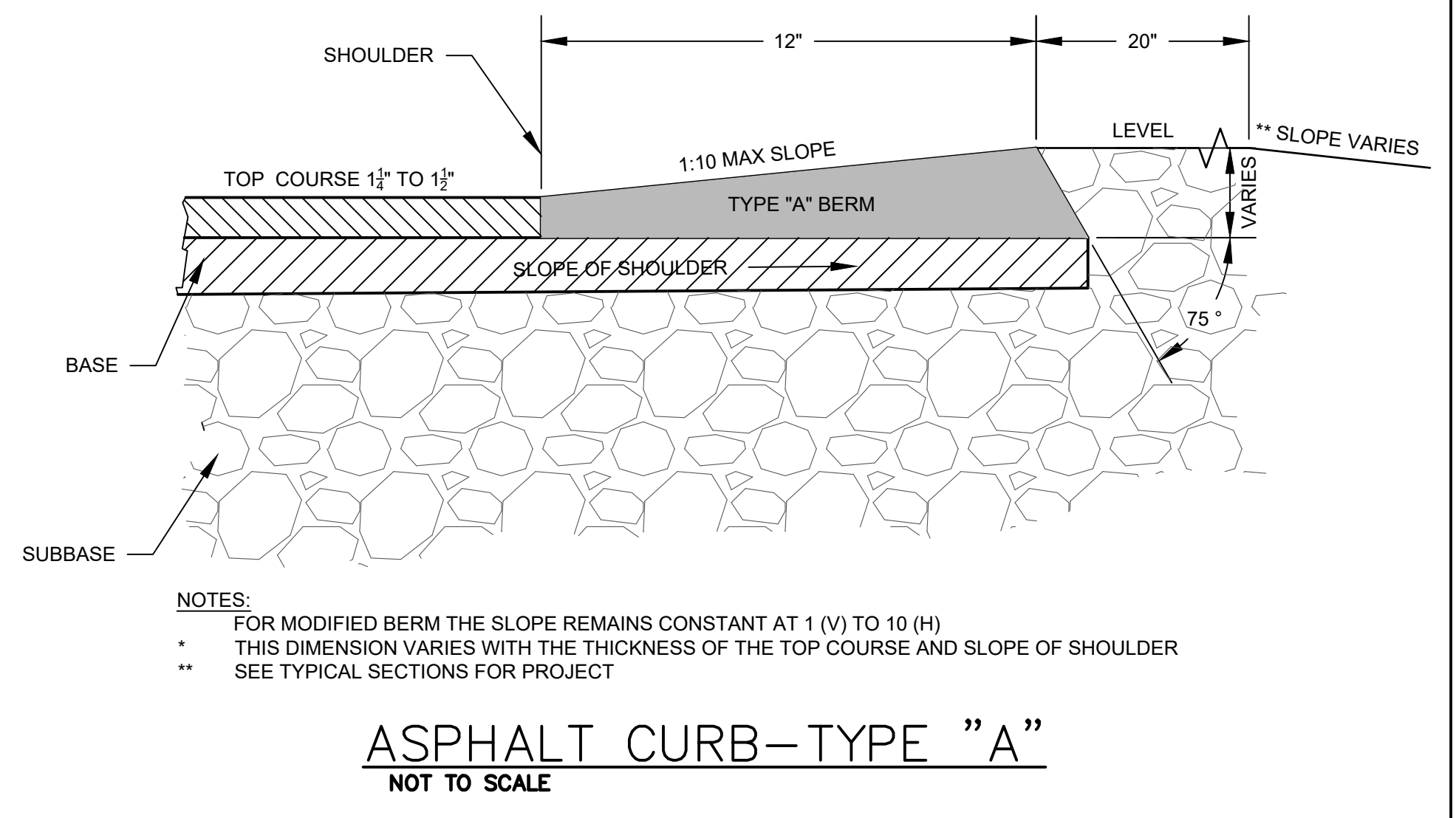
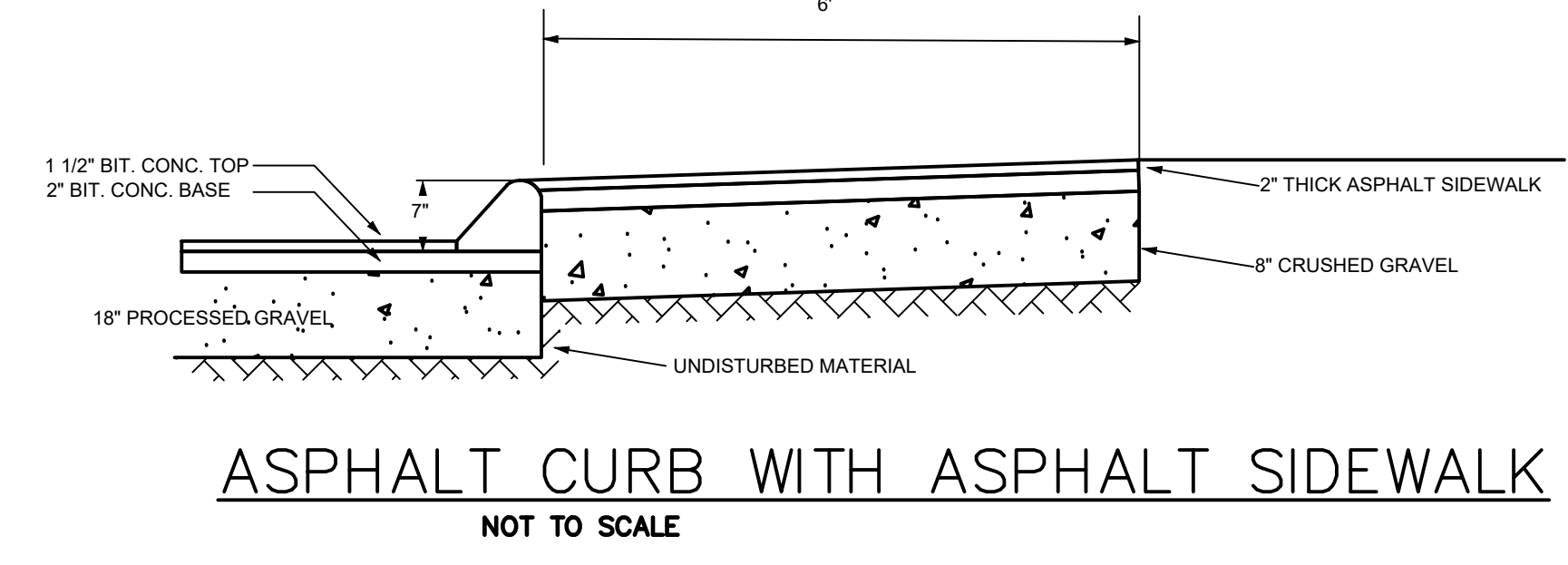
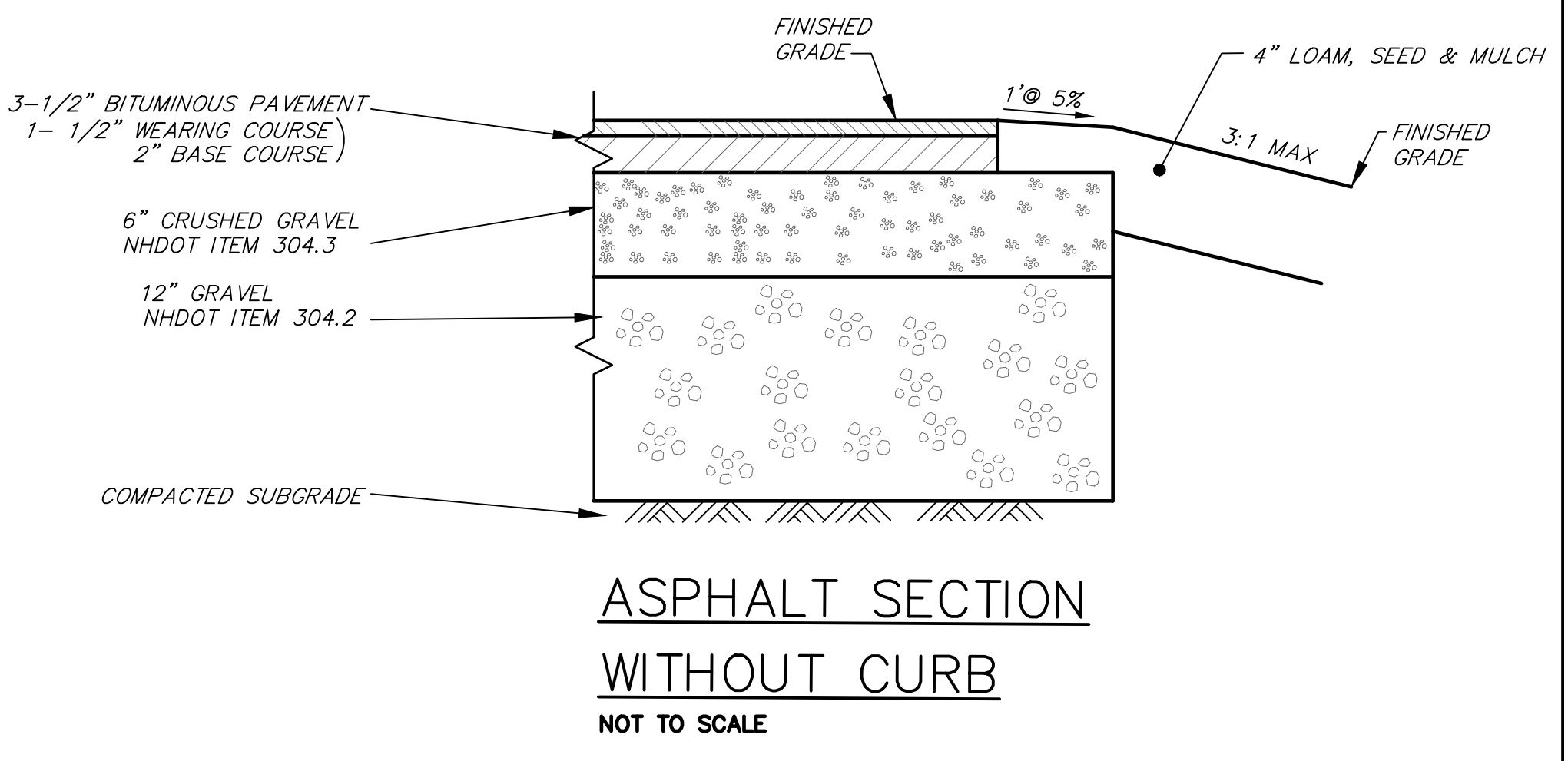
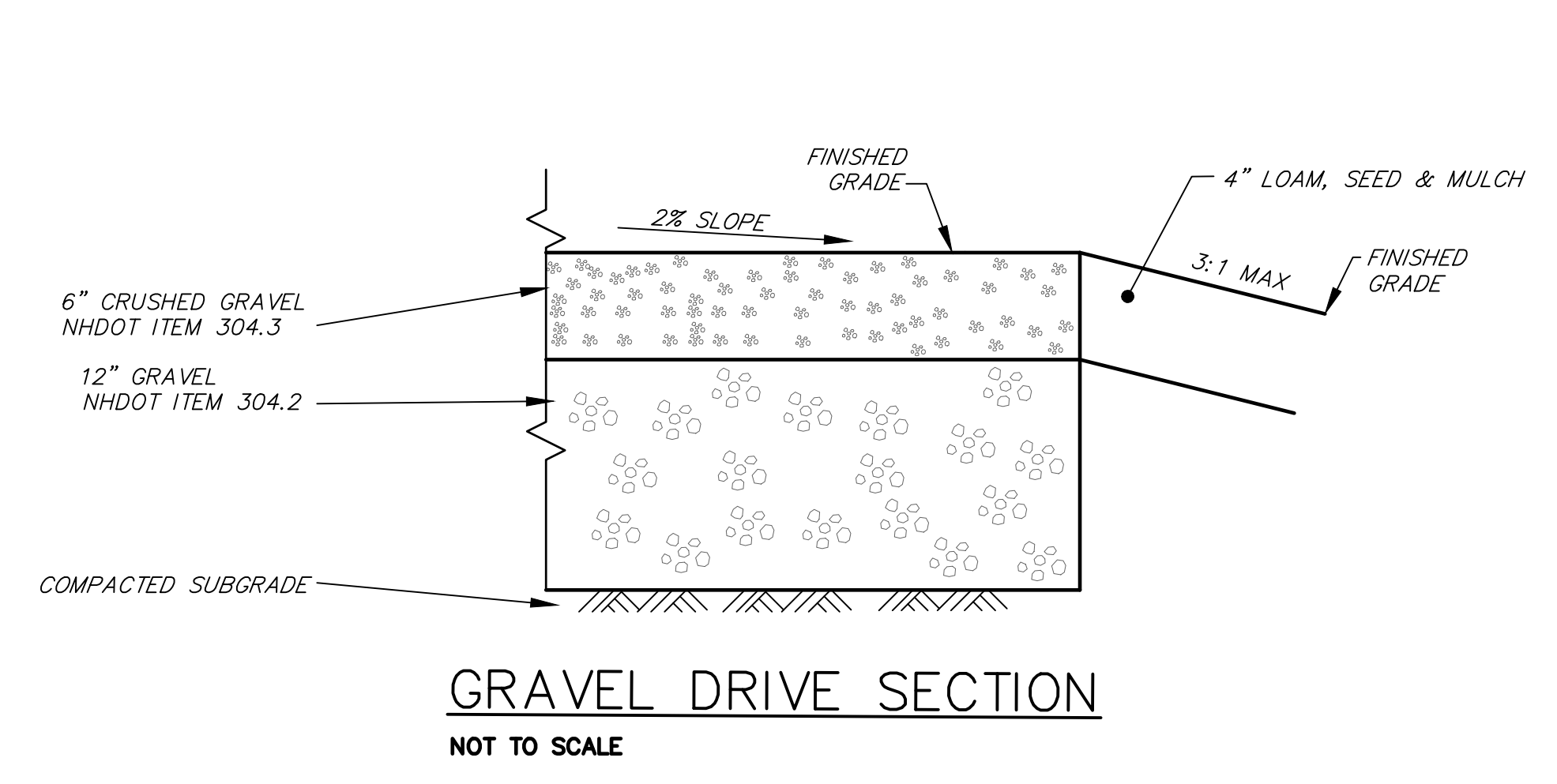
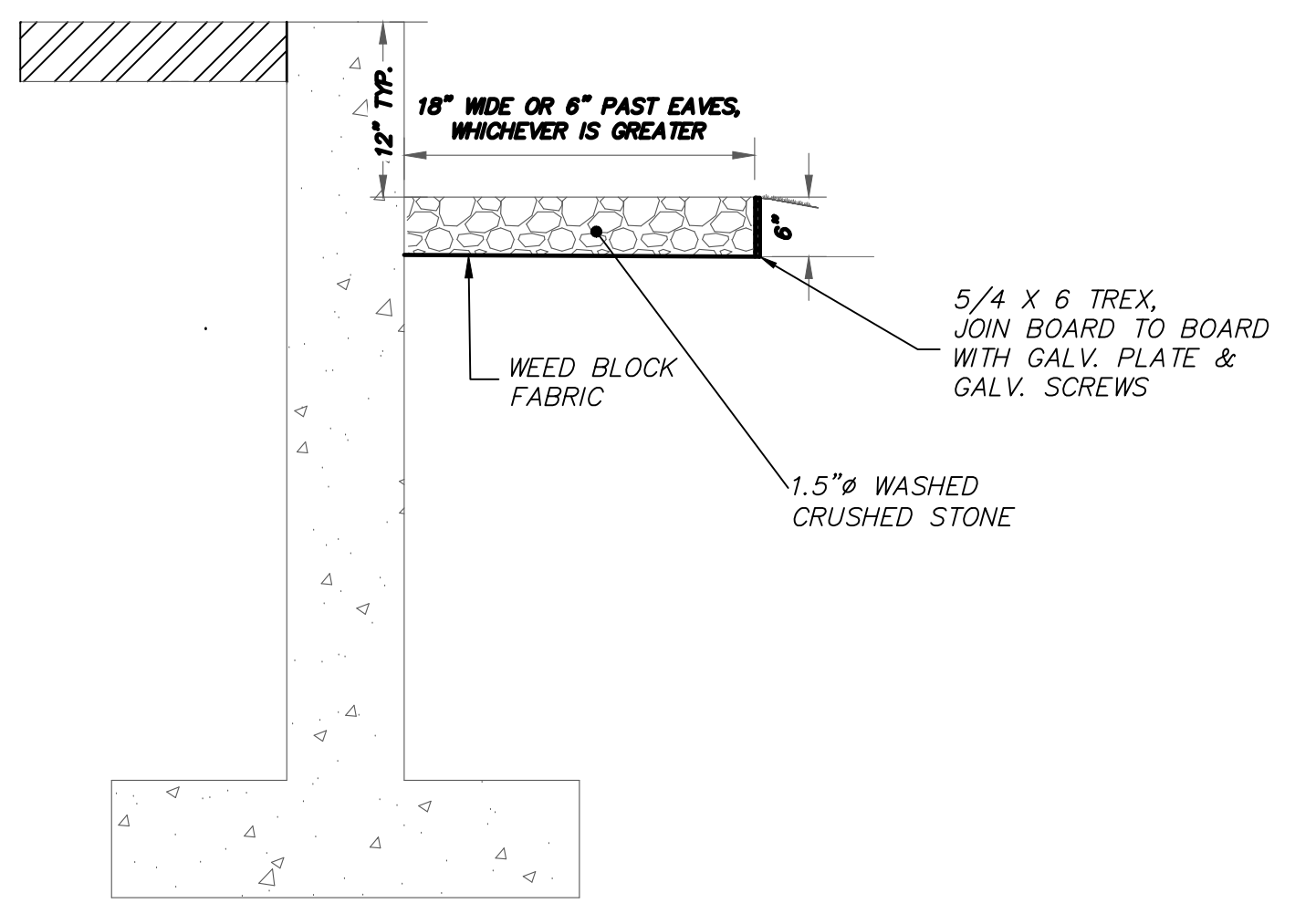
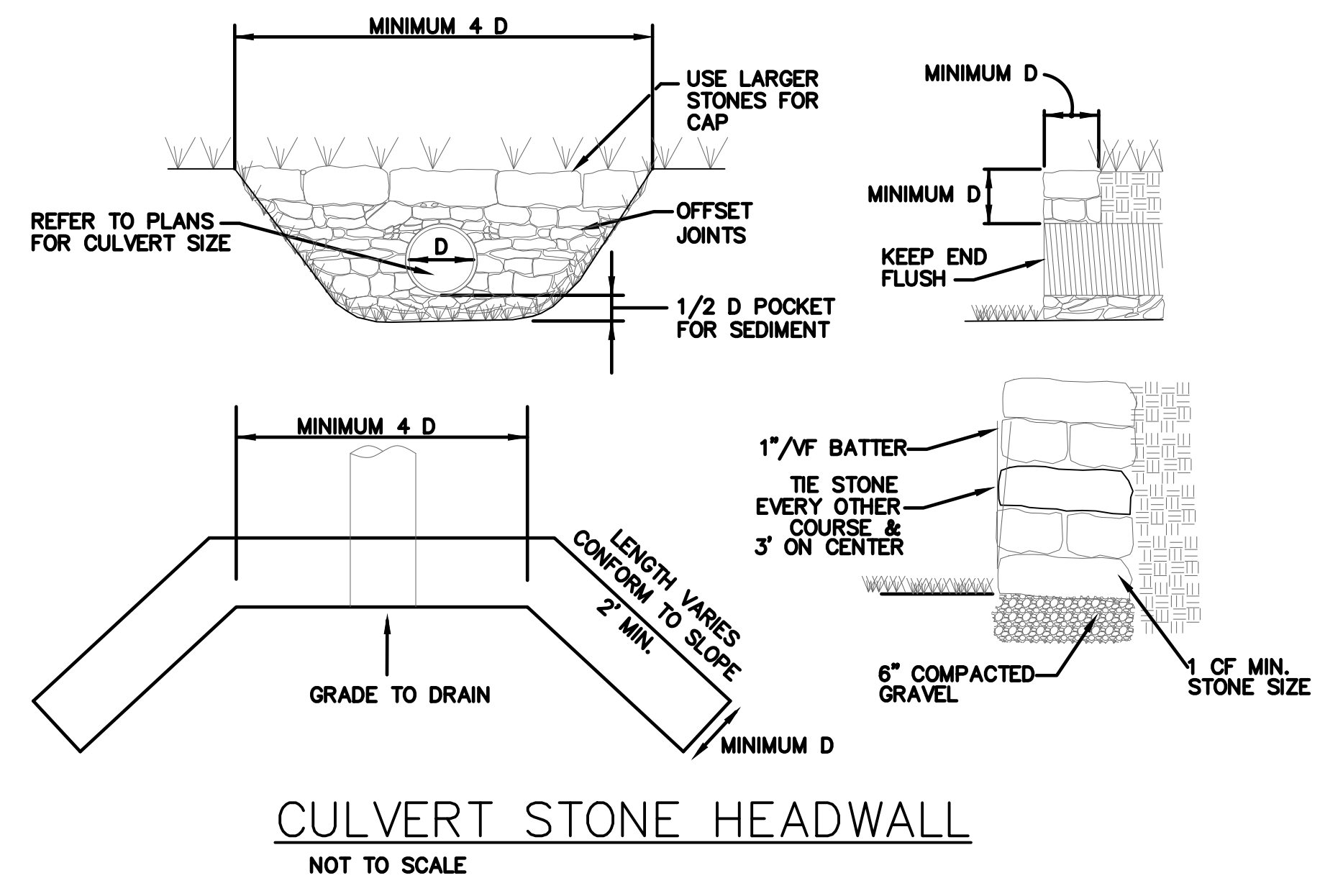
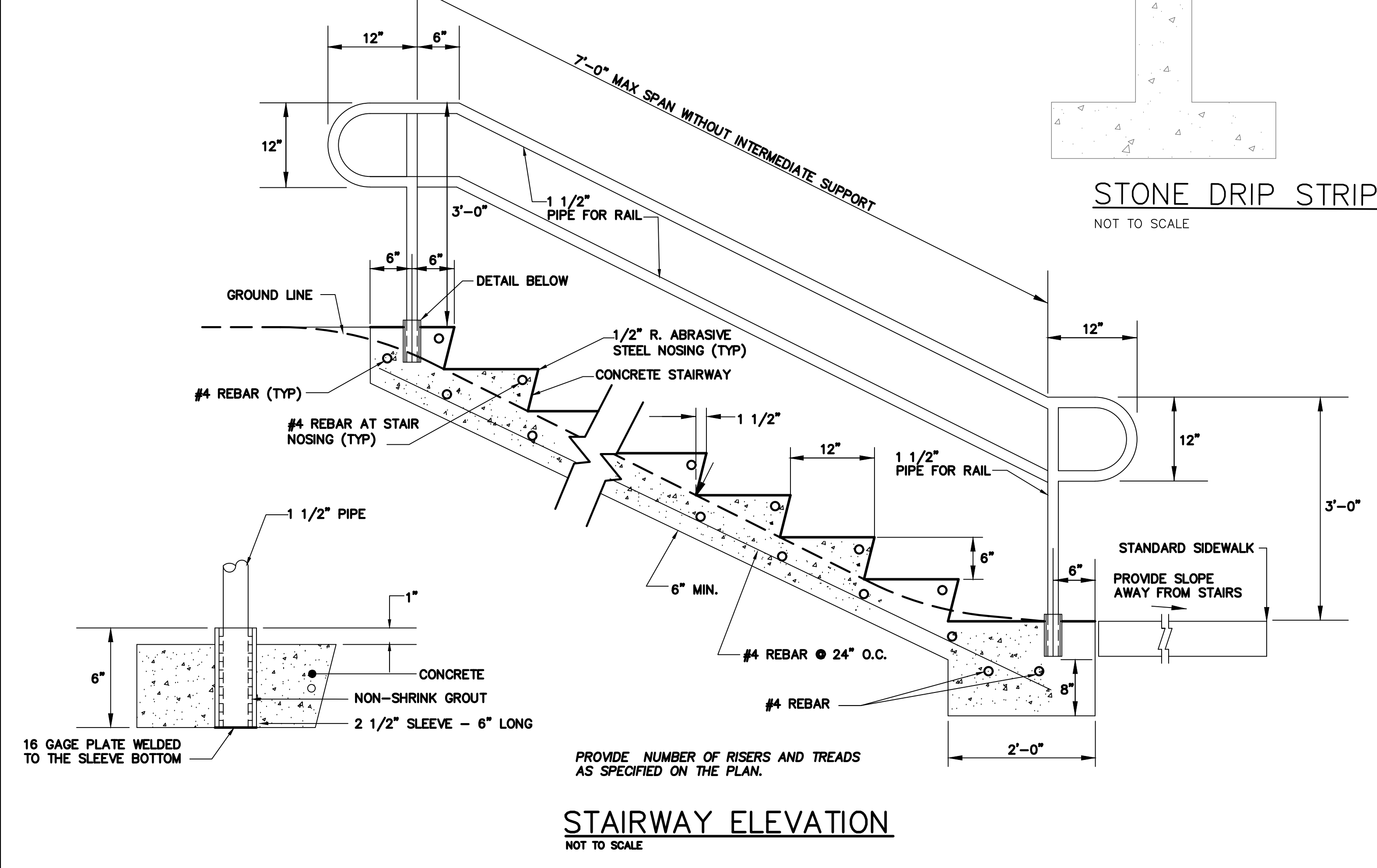
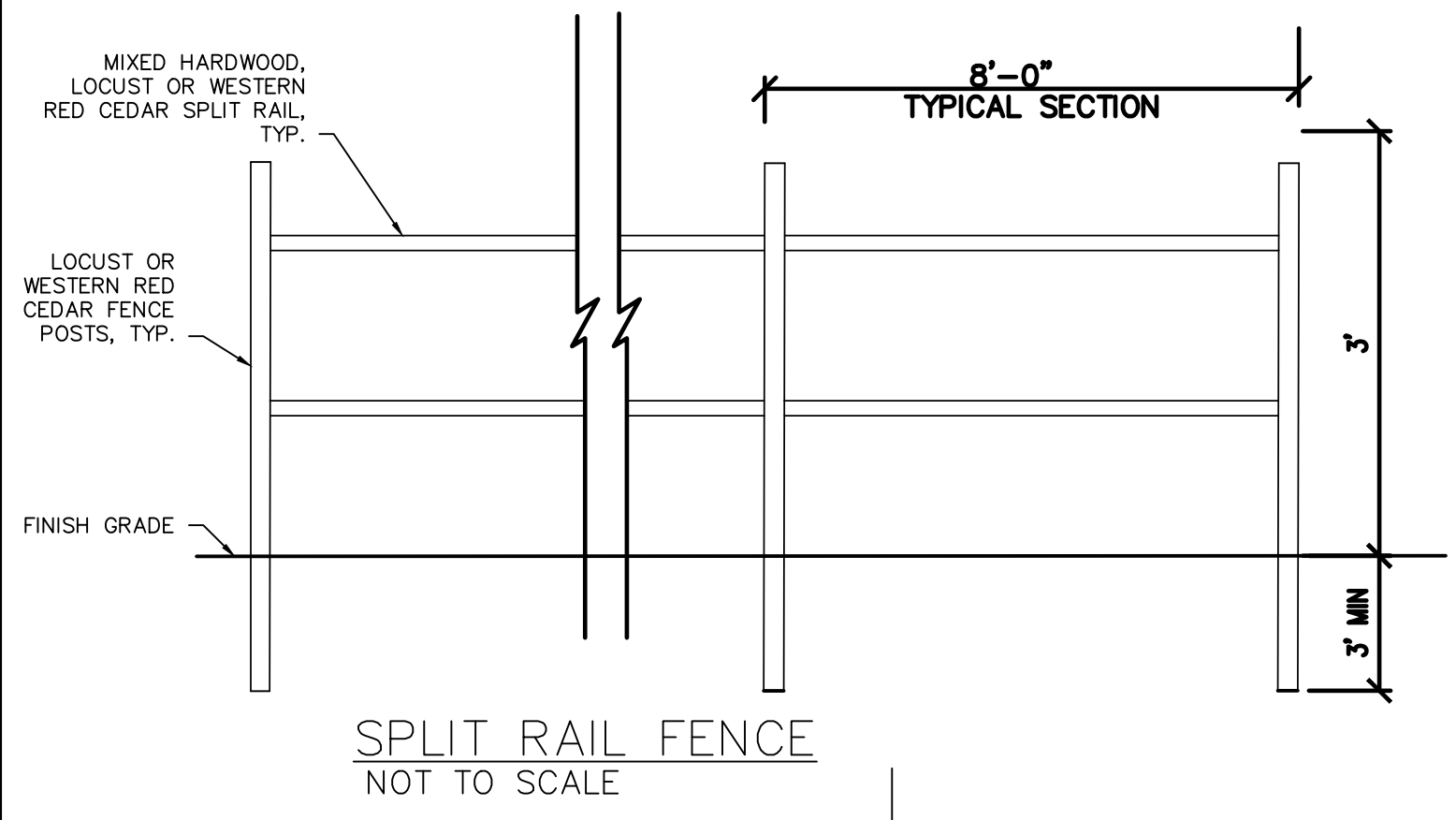
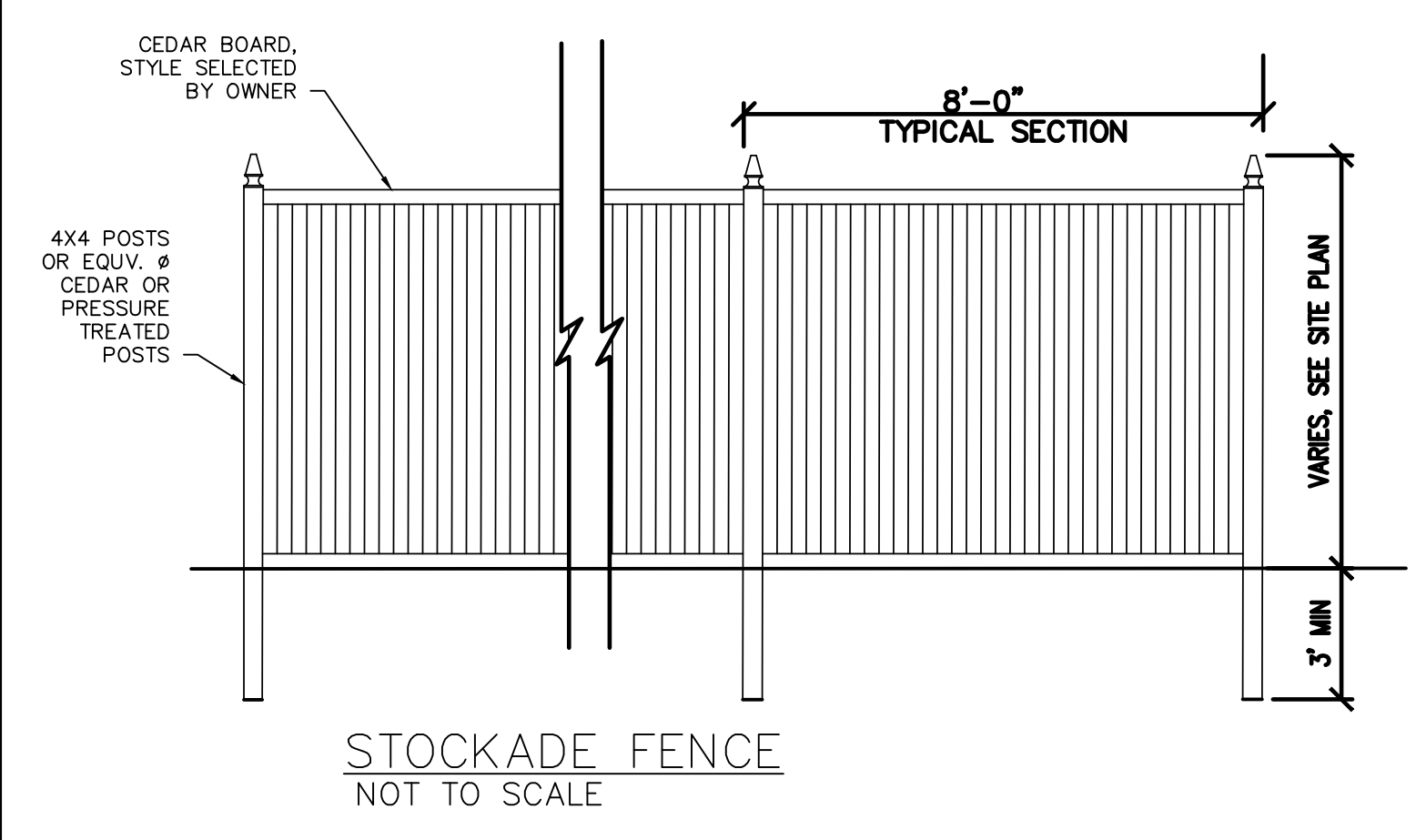
DATE: SEPTEMBER 13, 2021
REVISION: ADD FOOT PATH, 4 FRASIER FIRS, EXPANDED LEACHFIELD
DATE: OCTOBER 11, 2021
REVISION: TITLE BLOCK, ADDED NOTES

GENERAL SITE NOTES AND DETAILS

DES. BY: LS
DWN. BY: LS
CHKD. BY: LS
SCALE: AS SHOWN
DATE: 06/09/2020
PROJECT NUM: K2568
DWG. NO.

C-7

SHEET 8 OF 9



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LISA P. SARGENT
No. 13386
Professional Engineer
10/18/2021

PURPOSE OF DRAWING:
OCTOBER 14, 2021
PERMITTING

BEN'S SUGAR SHACK
WEBSTER HIGHWAY
TEMPLE, NH

PREPARED FOR:
BEN'S MAPLE PRODUCTS LLC
83 WEBSTER HIGHWAY
TEMPLE, NH

DATE: OCTOBER 11, 2021
REVISION: TITLE BLOCK ADDED

SHEET C-8

GENERAL SITE DETAILS

DES. BY LS
DWN. BY LS
CHKD. BY LS
SCALE AS SHOWN
DATE 06/09/2020
PROJECT NUM: K2568
DWG. NO.

C-8
SHEET 9 OF 9